

**DIABLO MUNICIPAL ADVISORY COUNCIL
REGULAR MEETING MINUTES
DIABLO COUNTRY CLUB CURTOLA ROOM
NOVEMBER 10, 2025, 6:01 P.M.**

CALL TO ORDER: Vice President Lorenz called the meeting to order at 6:44 pm.

ROLL CALL: Secretary Bonny called the roll as follows:

Directors present: Lorenz, Slavonia, Luecht, Bonny

Directors absent: Cox

Vice President Lorenz welcomed Directors and the public and explained the rules for public comment.

PUBLIC COMMENTS: None

LAND USE COMMUNICATION AND ACTIONS:

General Manager Torru presented the County Agency Comment Request Packet for 1510 Avenida Nueva (Emran Mahbub). The property owner requests a 7.5-foot side setback, where a 10-foot setback is required to build a playroom at the rear of the residence.

The adjacent neighbor (1528 Avenida Nueva) was notified of the setback variance request and provided a copy of the Agency Comment Request Packet. The neighbor expressed concern about the impact of the structure on the privacy in their bedrooms. The applicant and adjacent property owner met and agreed to the following conditions of the permit:

1. The structure remains a single-story building.
2. Any windows facing the adjacent property (1528 Avenida Nueva) shall be positioned below the top of the current fence line.
3. A barrier shall be installed along the fence with the adjacent neighbor (1528 Avenida Nueva) for screening, noise, and privacy (i.e., a row of tall shrubs/English Laurels and a fence top lattice extension).
4. The adjacent neighbor will be allowed to review the final plans before the permit is issued.

On motion by Director Slavonia and second by Director Luecht, the Board instructed the General Manager to notify the County that DMAC has no objection to the side setback variance request, provided the conditions identified above are included in the permit. Motion passed 4-0.

CONSENT CALENDAR:

On motion by Director Slavonia and second by Director Lorenz, the consent calendar was approved. Motion passed 3-0. Director Bonny abstained.

CALL OF NEXT MEETING/ADJOURNMENT:

Vice President Lorenz called the next meeting for January 12, 2026, following the adjournment of the DCSD meeting at Diablo Country Club. There being no further business, the meeting was adjourned at 6:51 p.m.

Diablo Municipal Advisory Council by

Kathy Torru, General Manager



CONTRA COSTA

CONSERVATION & DEVELOPMENT

Planning Application Summary

County File Number: CDVR25-01050

File Date: 10/23/2025

Applicant:

Mahsa Nicknam Lenick Group
2261 Market St. #4371
San Francisco, CA 94114

mnicknam@gmail.com
(716) 472-8618

Property Owner:

EMRAN MAHBUB
1510 Avenue Nueva
Diablo, CA 94528

emran.mah@gmail.com
(408) 802-6653

Project Description:

The applicant requests approval of a variance and small lot design review to allow a 7'-.5" side yard setback (where 10' is the required minimum - sliding scale) for a 290 sf addition on a lot of substandard area.

Project Location: (Address: 1510 AVENIDA NUEVA , DIABLO, CA 94528), (APN: 195270010)

Additional APNs:

General Plan Designation(s): RL

Zoning District(s): "R-20, -UE"

Flood Hazard Areas: X

AP Fault Zone:

60-dBA Noise Control:

MAC/TAC:

Sphere of Influence:

Fire District: SAN RAMON VLY FIRE

Sanitary District: CENTRAL SANITARY

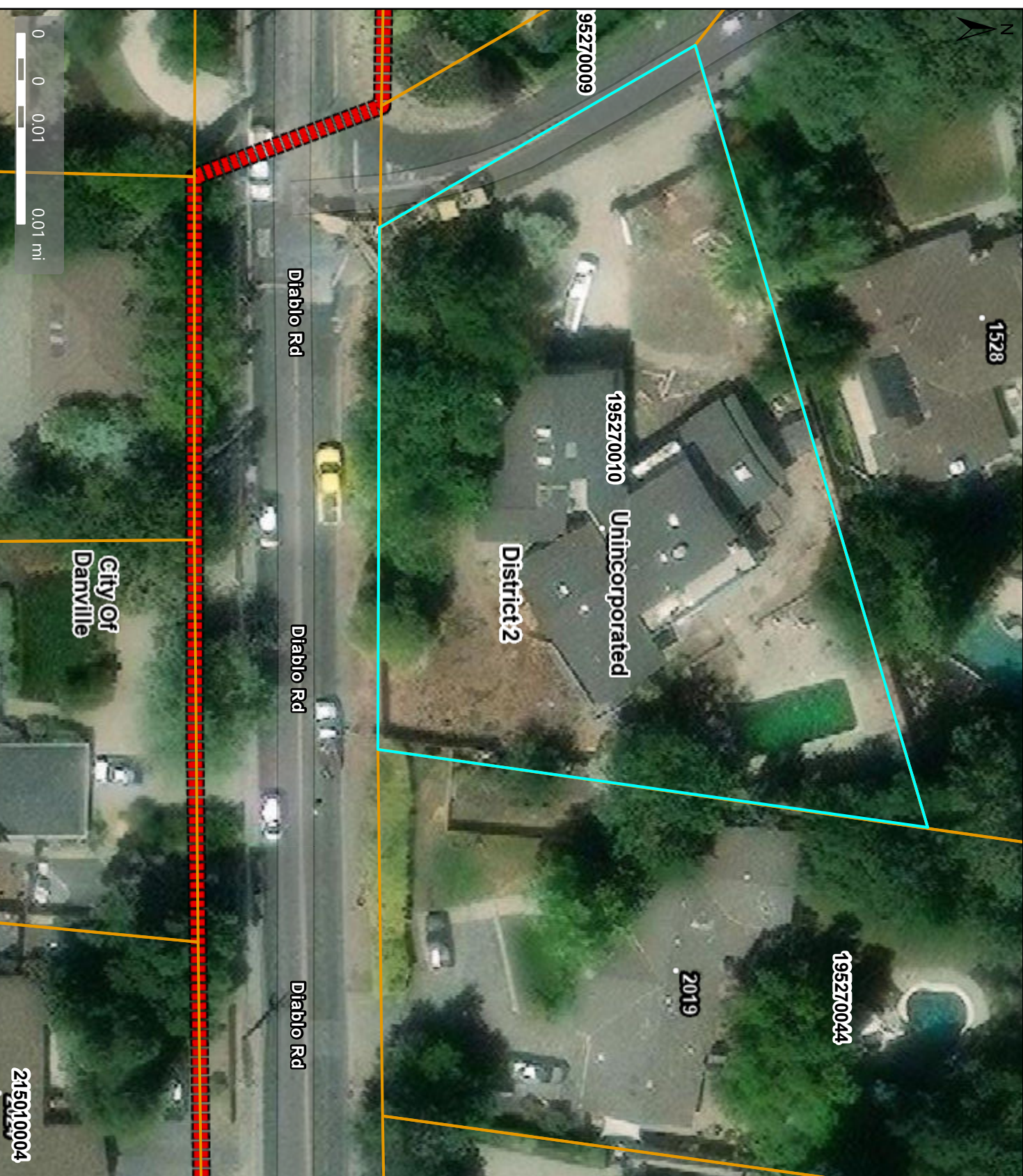
Housing Inventory Site: NO

Specific Plan:

Fees:

Fee Item	Description	Account Code	Total Fee	Paid
048F	Fish & Wildlife Fee (\$75)	002606-9660-REV-000-5B048F	75.00	75.00
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
Total:			3412.00	3412.00

Aerial



Map Legend

- County Border
- Assessment Parcels
- Planning Layers (DCD)**
 - Unincorporated
 - City Limits
 - Board of Supervisors' Districts
- Base Data**
 - Address Points

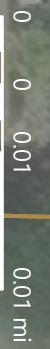
Credits: Contra Costa County Department of Conservation and Department, Maxar, Microsoft, Esri Community Maps Contributors, California State Parks, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, Geotechnologies, Inc, METI/ANSA, USGS, Bureau of Land Management, EPA, NPS, US Census

This map is a user generated, static output from an internet mapping application and is intended for reference use only. Data layers that appear on this map may or may not be available in the current version of the application.

THIS MAP IS NOT TO BE USED FOR NAVIGATION.

CCMap is maintained by Contra Costa County Department of Information Technology, County GIS. Data layers contained within the CChap application are provided by various Contra Costa County Departments. Please direct all data requests to the appropriate department.

Spatial Reference
 PCS: WGS 1984 Web Mercator Auxiliary Sphere
 Datum: WGS 1984



City of Danville

215010004

General Plan - RL



Map Legend

- County Border
- Assessment Parcels

Planning Layers (DCD)

- General Plan
- RL (Residential Low Density) (1-3 du/na)
- Unincorporated
- City Limits
- Board of Supervisors' Districts

Base Data

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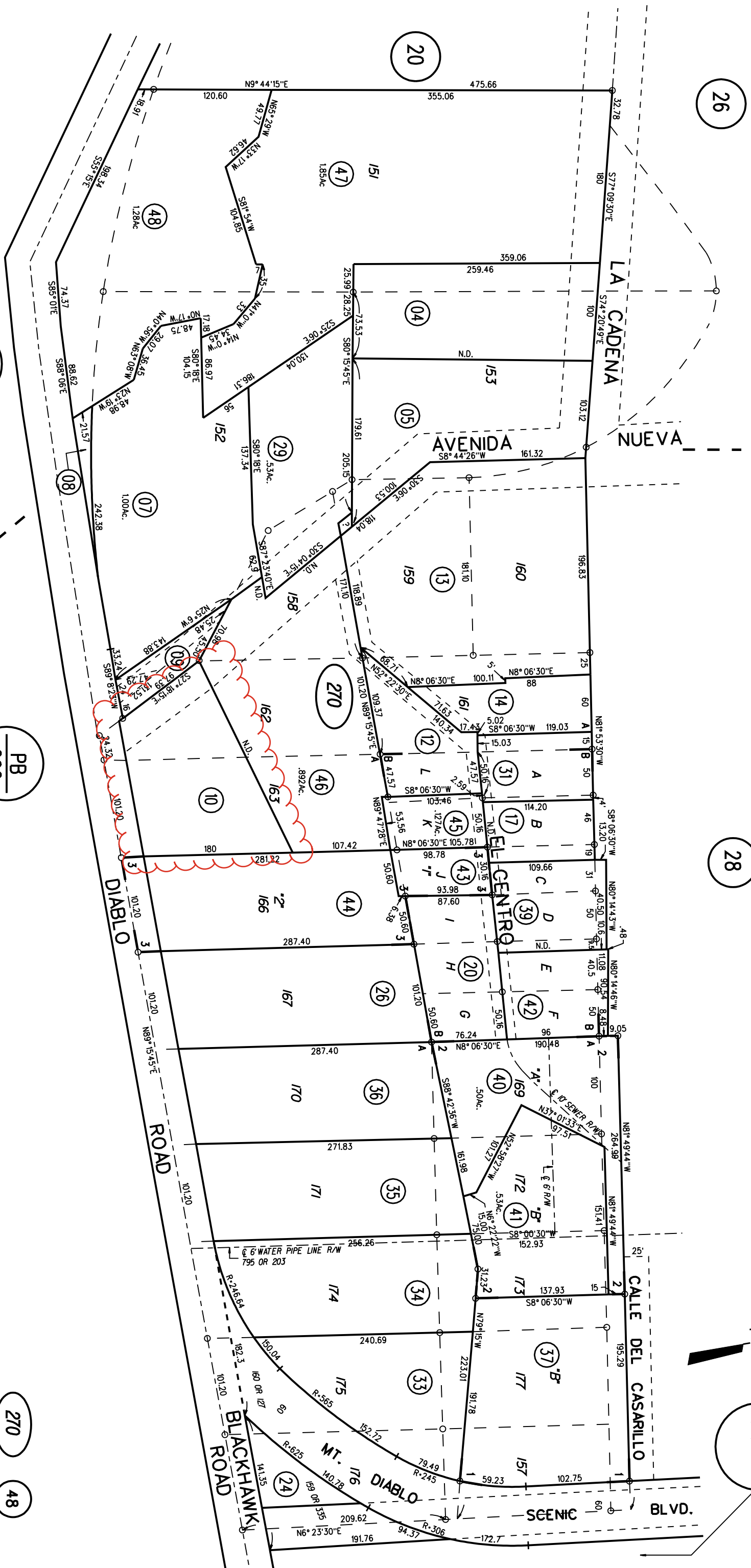
A. MT. DIABLO ESTATE PARK SUB'N. UNIT NO. 1 M.B. 15-301

B. RESUB. LOTS 164, 165 & 168 MT. DIABLO ESTATE PARK SUB'N. UNIT NO. 1 M.B. 16-322

1. 3 PM 31 5/7/68
2. 79P.M.8 & 9 7-19-79
3. 74 L.S.M. 43 6-11-84



M.B.-203



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

PB
202

PB
202

270

48

Zoning - R-20



Map Legend

- County Border
- Assessment Parcels
- Planning Layers (DCD)**
- Zoning**
- ZONE_OVER**
- R-20, -UE (Urban Farm Animal Exclusion)
- City Limits
- Board of Supervisors' Districts
- Base Data**
- Address Points

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PUBLIC WORKS NOTES:

-APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTIONS OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED HEREIN. IF DURING THE COURSE OF CONSTRUCTING IMPROVEMENTS, THE CONTRACTOR OBSERVES ANY DEFICIENCIES OR DISCREPANCIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING. THE CONTRACTOR SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE COMPLETED, AT THE SOLE EXPENSE OF THE CONTRACTOR.

-CONTACT PUBLIC WORKS, (408) 777-3104, FOR INSPECTION OF GRADING, STORM DRAINAGE, AND PUBLIC IMPROVEMENTS COMPLETED PRIOR TO OCCUPANCY. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.

-CONTRACTOR SHALL REVIEW CITY DETAIL 2-4 ON TREE PROTECTION PRIOR TO UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS THE SOIL. A WORK SCHEDULE OF GRADING AND EROSION & SEDIMENT CONTROL PLAN SHALL BE PERFORMED BETWEEN OCTOBER 1 AND APRIL 15. NO HILLSIDE GRADINGS SHALL BE TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.

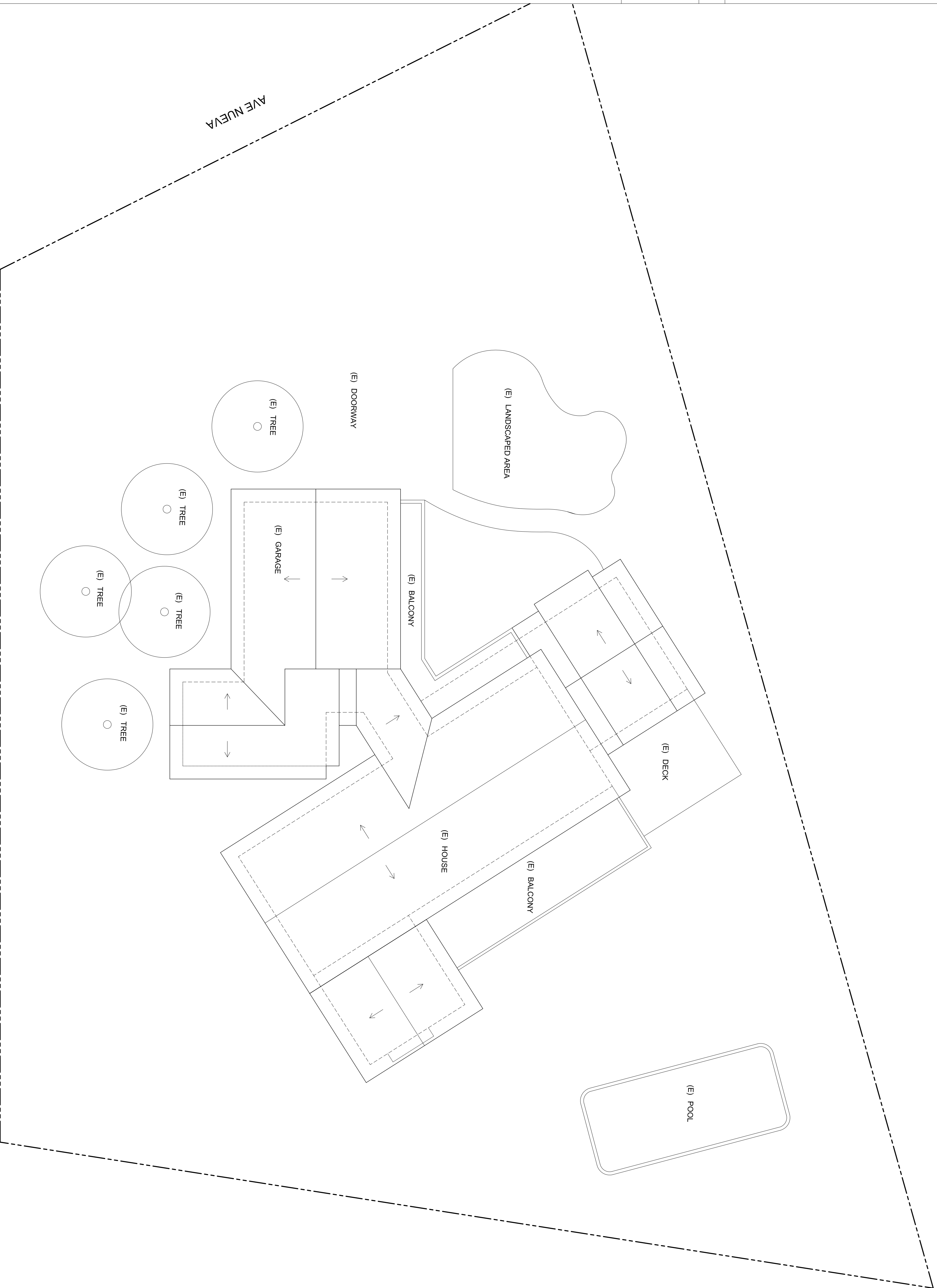
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-PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AN ENGAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.

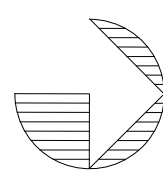
GENERAL NOTES:

-ALL UNDERGROUND UTILITY LINES TO THE NEAREST EXISTING POLE SHALL BE MAINTAINED AND PROTECTED. IF ANY UNDERGROUND UTILITY IS DISCOVERED, THE GRADE SHALL FALL NOT FEWER THAN 6" WITHIN THE FIRST 10 FT. IMPROVED SURFACE MAY BE MIN 2% SLOPE.

-DRAINS OR SWALES SHALL BE PROVIDED WHERE 10 FT DISTANCE CANT BE PROVIDED. THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT PER SECTION 831.2 -18"X24" CRAWL SPACE ACCESS WEATHERSTRIP & INSULATE TO LEVEL EQUAL TO SURROUNDING SURFACES.



1 EXISTING SITE PLAN
Scale: 1/8" = 1'-0"



NORTH

Revision	Description	Date

Client: _____

Project Description: _____

1510 AVENIDA NUVEA

Drawing Description: _____

EXISTING SITE PLAN

Project Number: _____
 Date: _____
 Drawn By: _____
 Checked By: _____
 Drawing No.: _____

A1-1

Scale as ANSI Standard D

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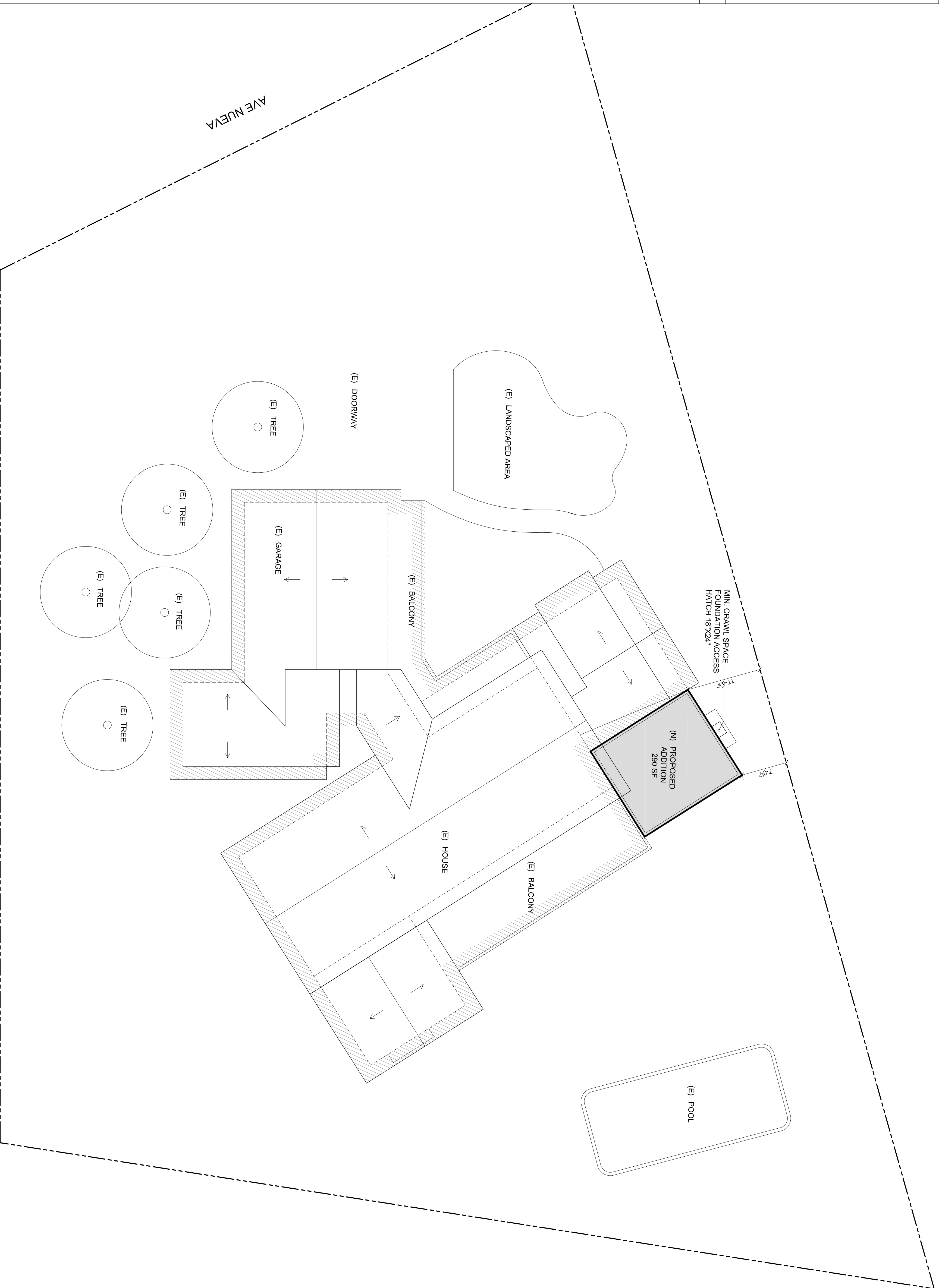
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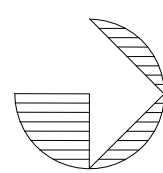
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1 PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"



NORTH

Revision	Description	Date

Client: _____

Project Description: _____

1510 AVENIDA NUVEA

Drawing Description: _____

PROPOSED SITE PLAN

Project Number: _____
 Date: _____
 Drawn By: _____
 Checked By: _____
 Drawing No.: _____

A1-2

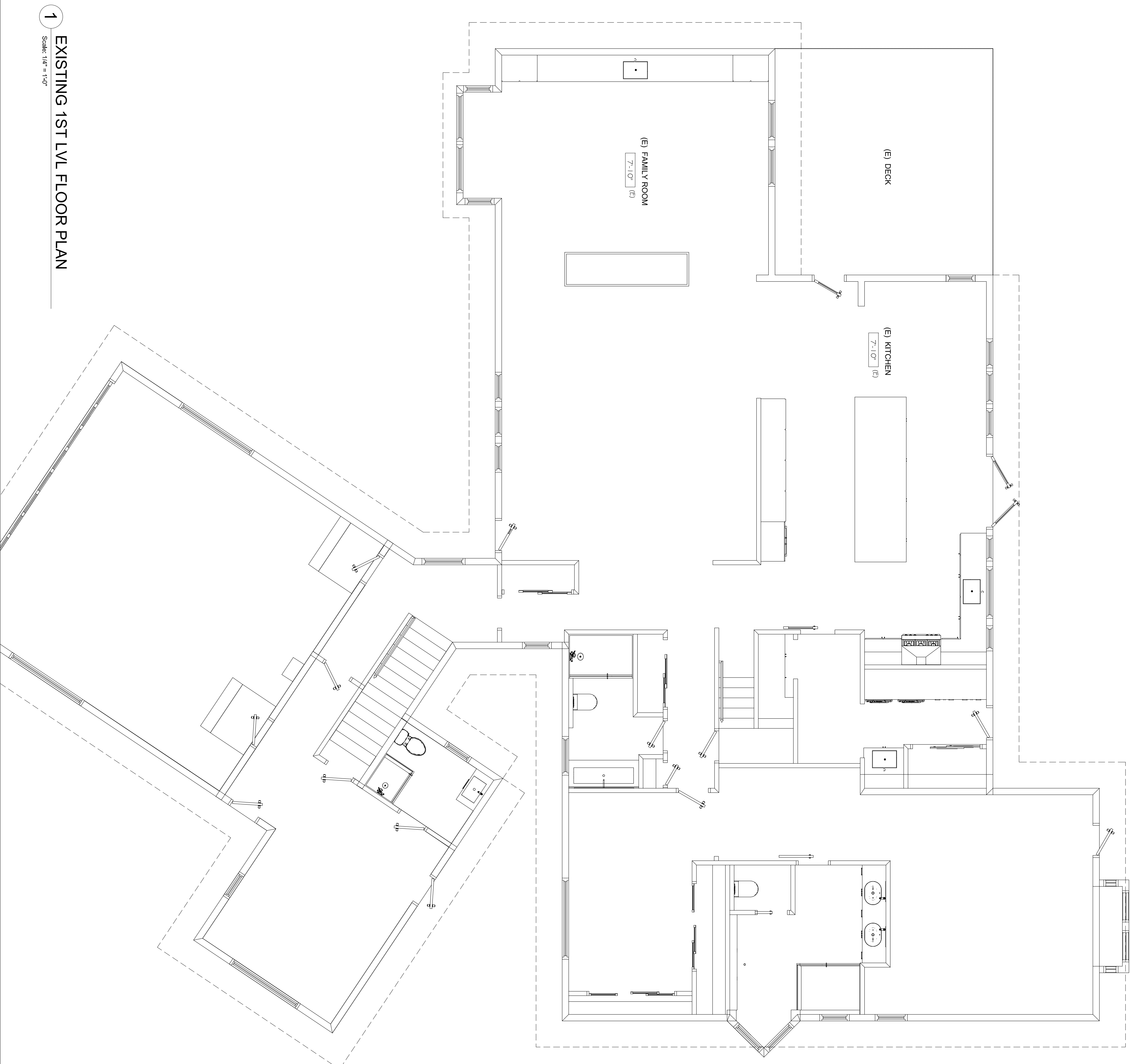
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KENNOTES

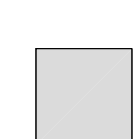
1. REMOVE EXTERIOR WALL / WINDOW
2. REMOVE EXISTING CONCRETE DECK
3. REMOVE EAVE AND GUTTER

DEMOLITION NOTES:

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- OUTLINE SAFETY MEASURES TO BE FOLLOWED DURING DEMOLITION, SUCH AS PROTECTIVE GEAR REQUIREMENTS, SITE BARRICADES, AND WARNING SIGNS.
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ADDITION



Revision	Description	Date

Client:

Project Descriptor:

1510 AVENIDA NUVEA

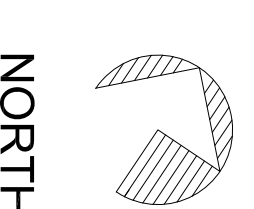
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EXISTING 1ST LVL FLOOR PLAN

Project Number: _____
 Date: _____
 Drawn By: _____
 Checked By: _____
 Drawing No.:

A2

Scale: #1 ANSI Standard 0



NORTH

1 EXISTING 1ST LVL FLOOR PLAN

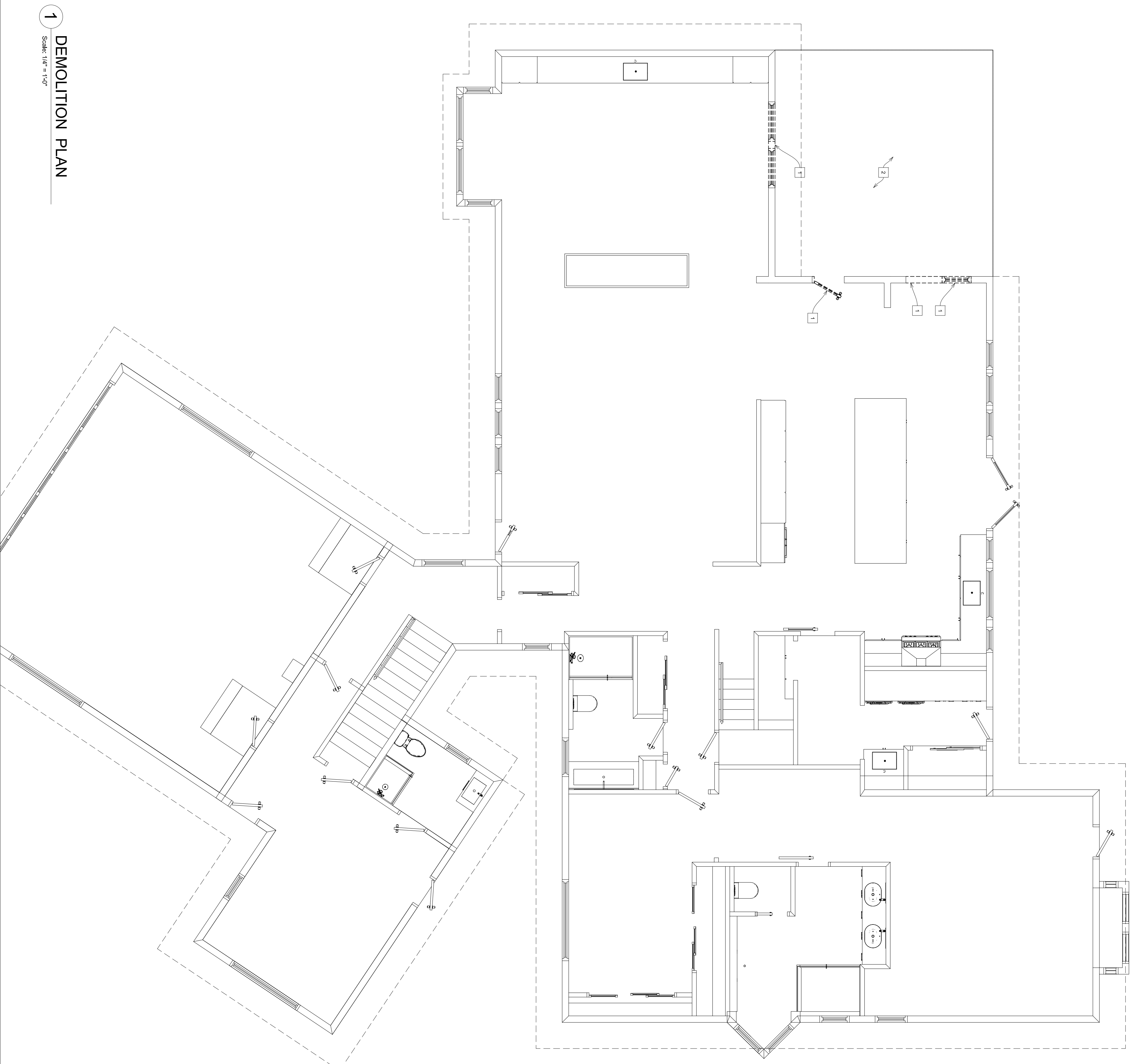
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KENNOTES

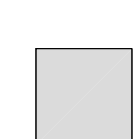
1. REMOVE EXTERIOR WALL / WINDOW
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DEMOLITION NOTES:

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ADDITION



Revision	Description	Date

Client:

Project Descriptor:

1510 AVENIDA NUVEA

Drawing Descriptor:

DEMOLITION PLAN

Project Number

Date

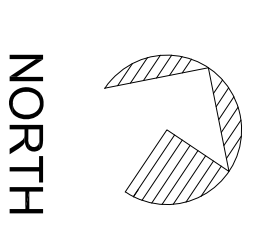
Drawn By

Checked By

Drawing No.

A3-1

Scale #1 ANSI Standard 0



NORTH

1 DEMOLITION PLAN

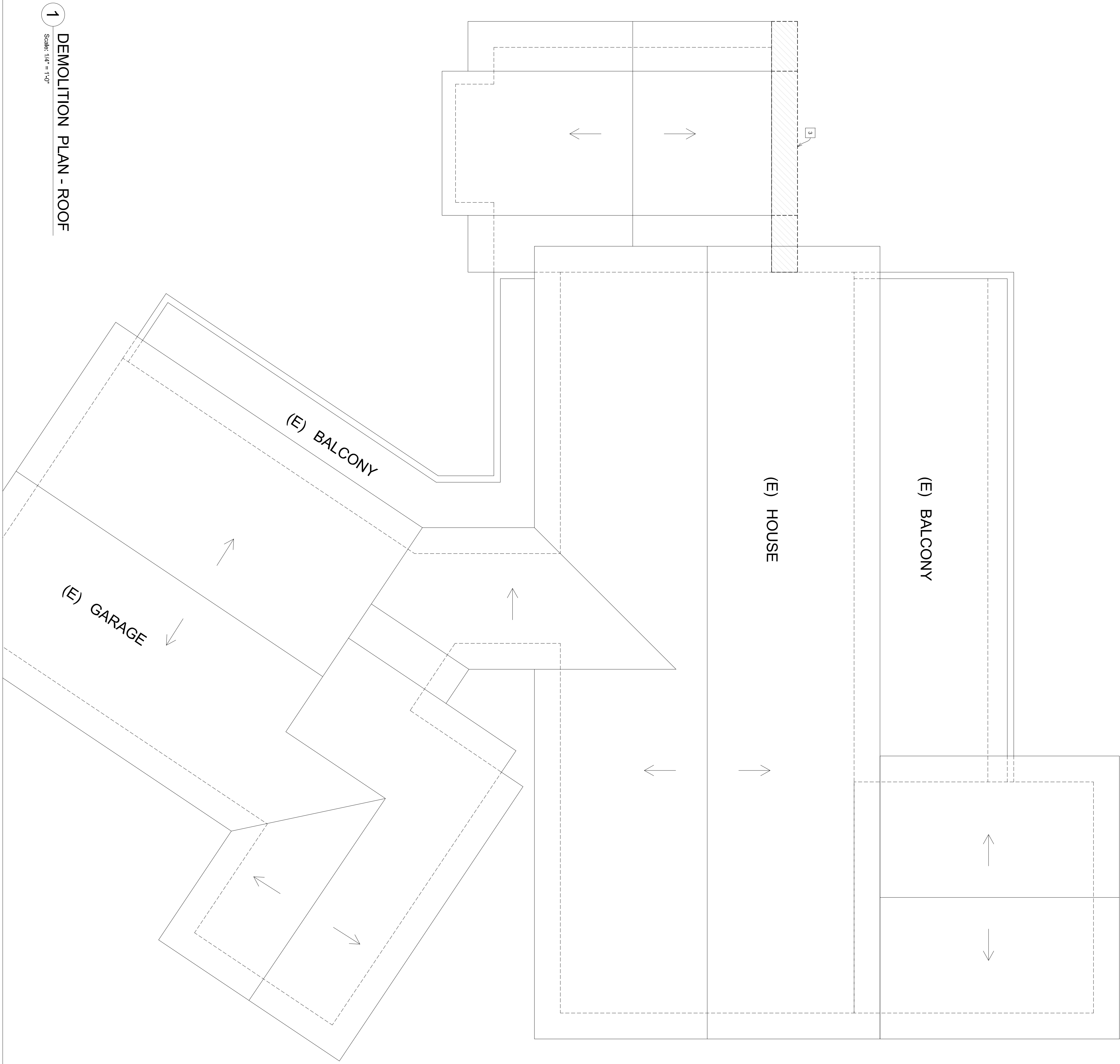
Scale: 1/4" = 1'-0"

KEYNOTES

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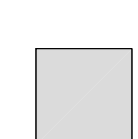
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1 DEMOLITION PLAN - ROOF

Scale: 1/4" = 1'-0"

A0300N



Revision	Description	Date

Client:

Project Descriptor:

1510 AVENIDA NUVEA

Drawing Descriptor:

DEMOLITION PLAN - ROOF

Project Number

Date

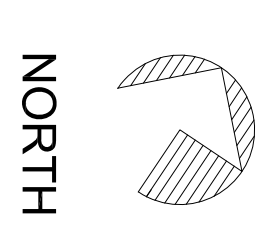
Drawn By

Checked By

Drawing No.

A3-2

Scale at ANSI Standard 0



NORTH

KEYNOTES

1. LUNAWOOD THERMOWOOD CEDAR SLAT PANEL OR SIMILAR
2. ALUMINUM PANEL - COLOR MATCHED W/ DOOR AND WINDOW FRAMES
3. METAL FLASHING
4. METAL DOWNSPOUT AND SCUPPER
5. BRASS DOWNSPOUT
6. BRASS SERVICE LINEAR VENT BY JOTO VENT
7. STAINLESS STEEL FLASHING AND BRP EDGE
8. BRASS ALUMINUM PLATE @ WINDOW DOOR SILL - HEADER & JAMB W/ Z PROTECTION
9. TEMPERED GLASS
10. (N) CRWL. SPACE FOUNDATION
11. (E) ASPHALT SINGLE ROOF BEHIND
12. (N) CRWL. SPACE ACCESS HATCH
13. (E) SIDING
14. (N) OUTDOOR SCONCE LIGHT
15. (E) ROOF
16. (E) FLOOR
17. SLIDING POCKET DOOR
18. SLIDING POCKET DOOR
19. CABT STRIP
20. (N) TPO ROOFING
21. CEILING PER STRUCTURE
22. 3" GMB OVER WOOD FURNING
23. ROLLER SHADE
24. (N) BUILD-UP ROOF
25. (N) CRICKET
26. (N) FOLDING GLASS DOOR

NOTES

CEMENT FIBER CEMENT AND GLASS MAT GYPSUM BACKERS UTILIZED AS OTHER NON-ABSORBENT FINISH MATERIAL SHALL CONFORM WITH ASTM C588, C515 OR C718 AND INSTALL IN ACCORDANCE WITH 4.4. BACKER FOR WALL, TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.

ALL GLASS ENCLOSURES IN TUB AND SHOWER AREAS SHALL BE SAFETY GLASS.

CARBON MONOXIDE ALARMS ARE REQUIRED TO BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING AREA. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION PER IRC R314.2.1. ALARMS MUST BE PLACED IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS PER IRC R314.3.

SMOKE ALARMS SHALL BE INTERCONNECTED AND HAVE A BATTERY BACKUP. SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH IRC R314.2. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARM SHALL BE INSTALLED IN EACH SEPARATE SLEEPING AREA.

ALL PERMANENTLY INSTALLED LIGHTING FIXTURES OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION PER IRC R314.2.1. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE GENERAL PERFORMANCE REQUIREMENTS SET FORTH IN IRC, CHAPTER 22, SECTION 22.01.01. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE GENERAL PERFORMANCE REQUIREMENTS SET FORTH IN IRC, CHAPTER 22, SECTION 22.01.01.

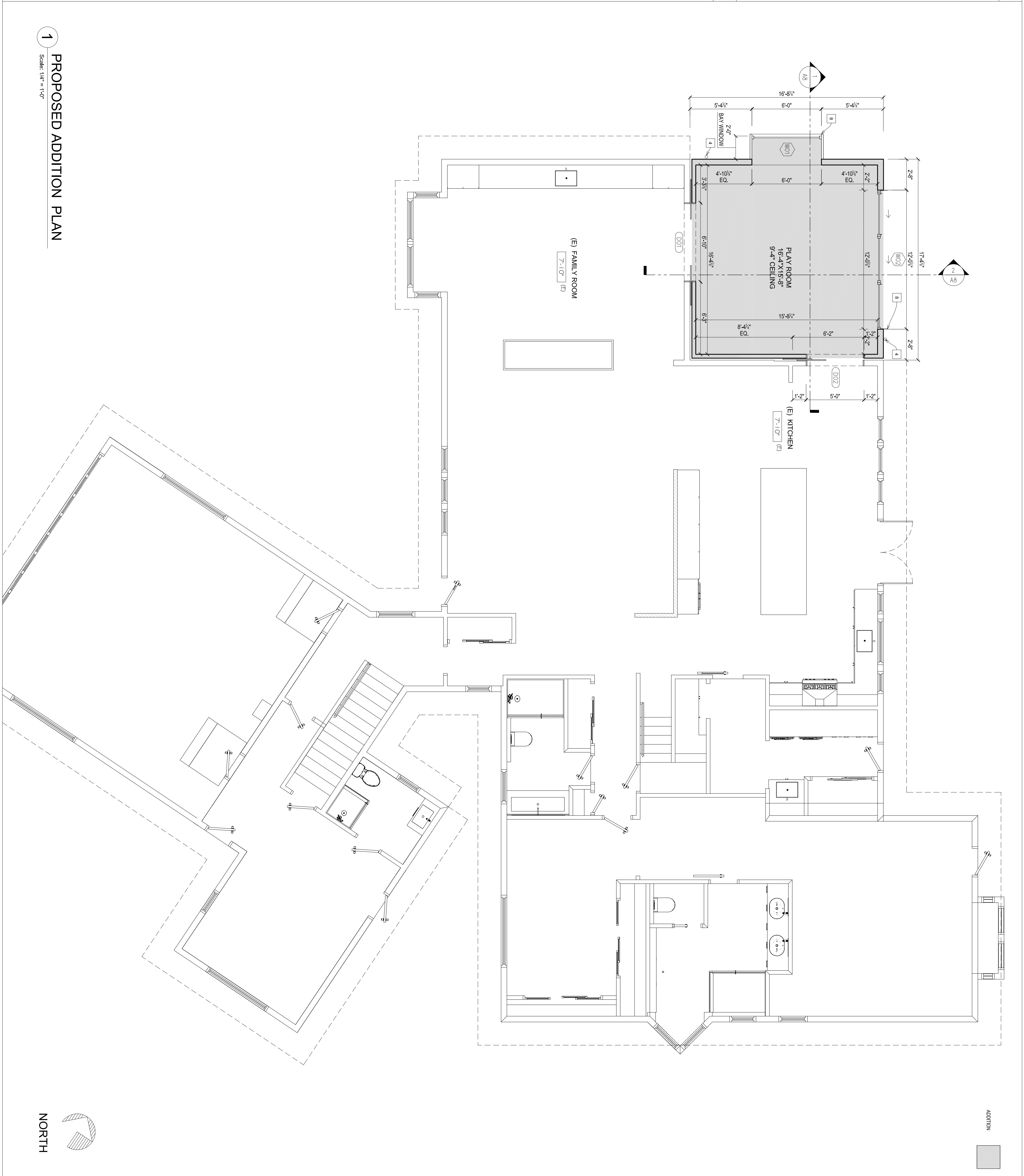
BATHROOM AND SHOWER WALLS WITH SHOWER HEADS INSTALLED SHALL BE INSTALLED IN ACCORDANCE WITH IRC R314.2.1.1. NON-ABSORBENT SURFACES TO 7" AFT. THE FINISH SURFACE SHALL BE INSTALLED IN ACCORDANCE WITH IRC R314.2.1.1.1.

MIN. 5/8" GPM EXHAUST FAN IS REQUIRED FOR ALL BATHROOM AND SHOWER AREAS. EXHAUST FAN SHALL BE INSTALLED IN ACCORDANCE WITH IRC R314.2.1.1.1. EXHAUST FAN SHALL BE INSTALLED IN ACCORDANCE WITH IRC R314.2.1.1.1.

CEILING INSULATION, WEATHERSTRIP AND INSULATE OVER TO EQUAL INSUL. SHALBE TO EQUAL PER IRC R314.4.5.

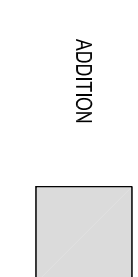
CEILING INSULATION, WEATHERSTRIP AND INSULATE OVER TO EQUAL INSUL. SHALBE TO EQUAL PER IRC R314.4.5.

BATHROOM WINDOWS TO BE TEMPERED, IF THEY ARE LESS THAN 60 INCHES ABOVE THE WET WALKING SURFACE R308.4.5 GLAZING AND WET TEMPERED SAFETY GLASS IS REQUIRED WHERE GLAZING IS WITHIN 24 INCHES (2 FEET) OF EITHER SIDE OF A DOOR AND THE BOTTOM EDGE IS LESS THAN 60 INCHES (5 FEET) ABOVE THE FLOOR PER R308.4.4.



1 PROPOSED ADDITION PLAN

Scale: 1/4" = 1'-0"



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Revision	Description	Date

Client: _____

Project Description: _____

1510 AVENIDA NUVEA

Drawing Description: _____

PROPOSED FLOOR PLAN

Project Number: _____

Date: _____

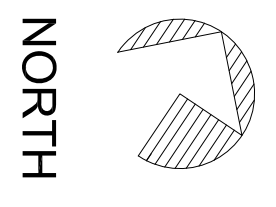
Drawn By: _____

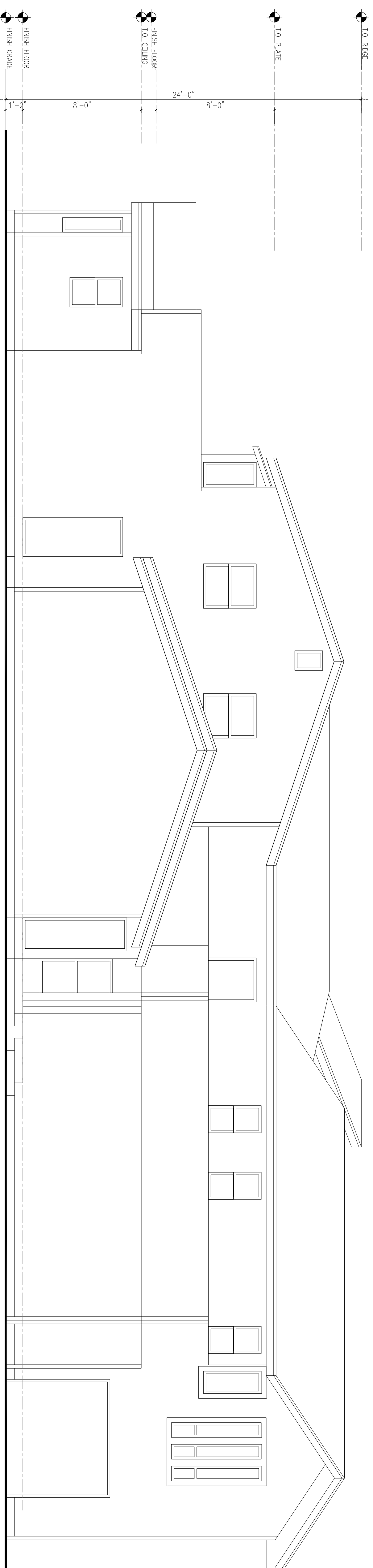
Checked By: _____

Drawing No. _____

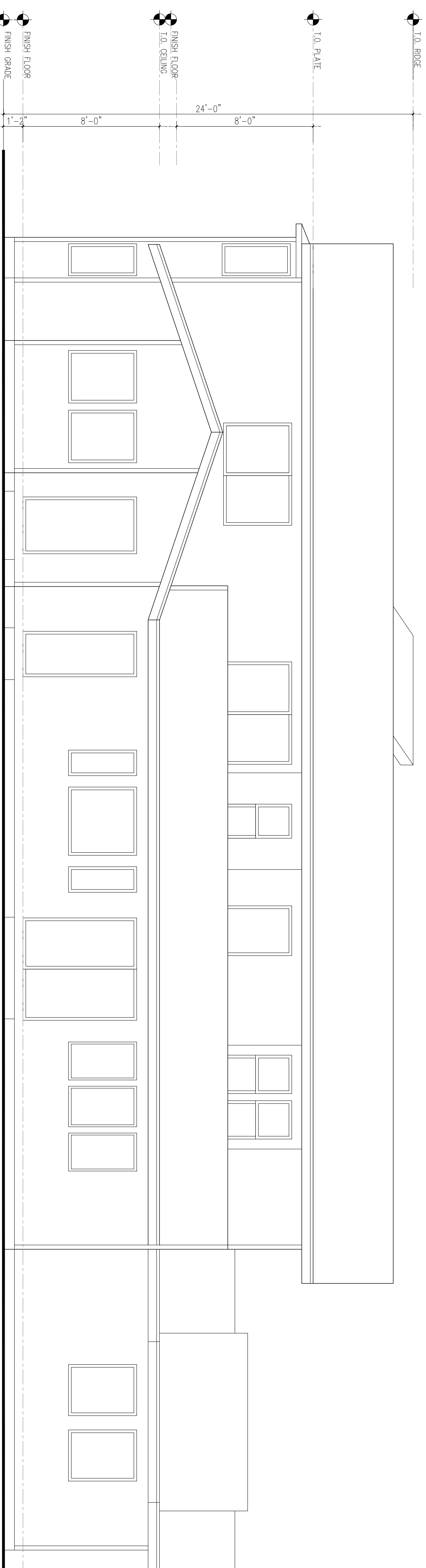
A4

Scale at ANSI Standard 0

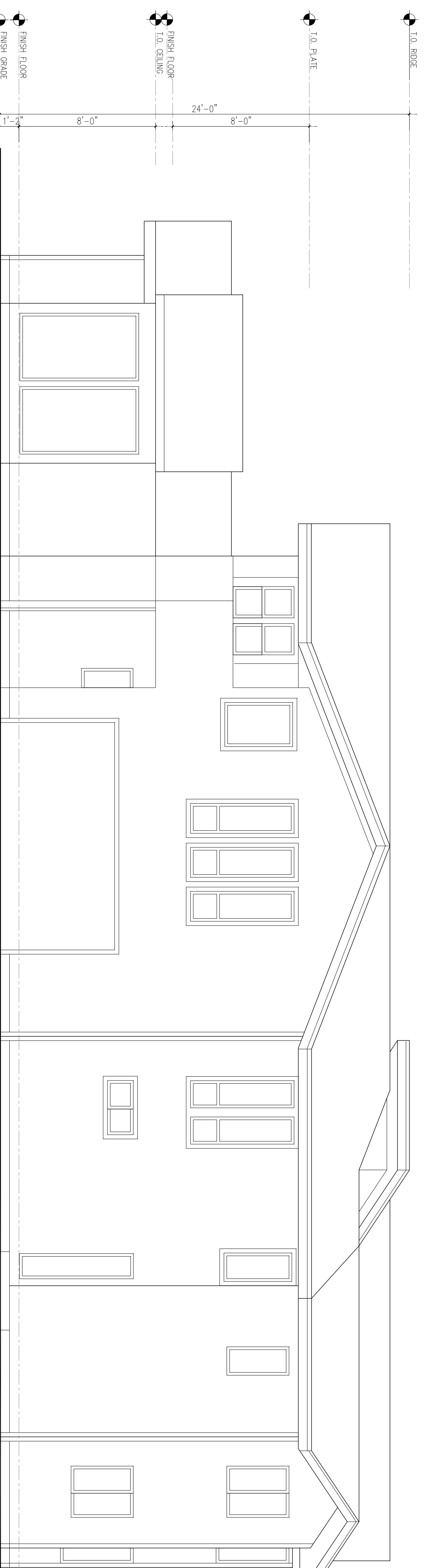




1 EXISTING SIDE ELEVATION
Scale: 1/4" = 1'-0"



2 EXISTING REAR ELEVATION
Scale: 1/4" = 1'-0"



3 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"

Revision	Description	Date

Client: _____

Project Description: _____

1510 AVENIDA NUVEA

Drawing Description: _____

EXISTING ELEVATIONS

Project Number: _____

Date: _____

Drawn By: _____

Checked By: _____

Drawing No. _____

A6

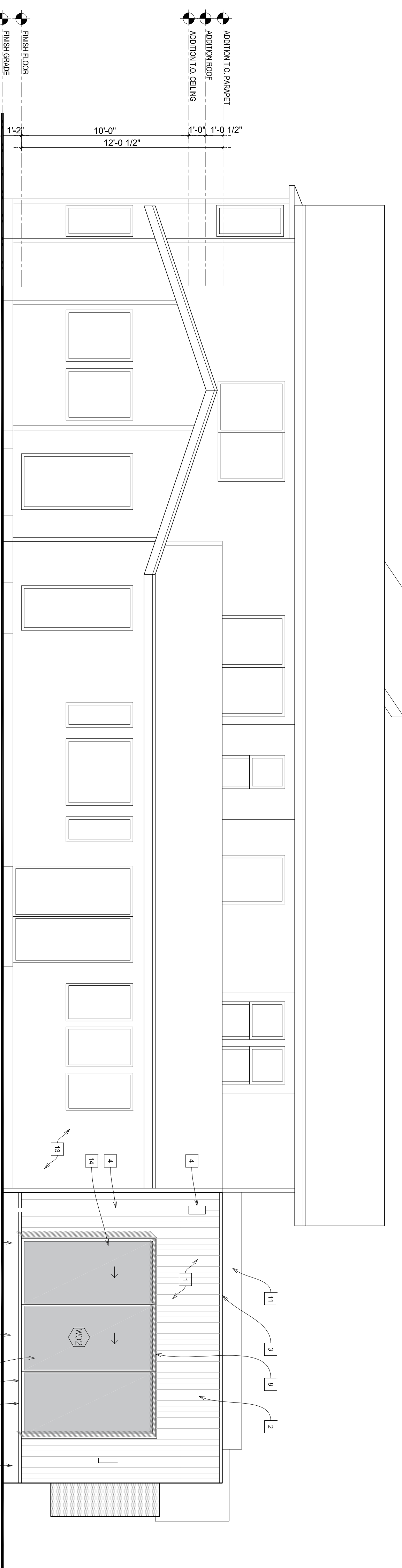
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KEYNOTES

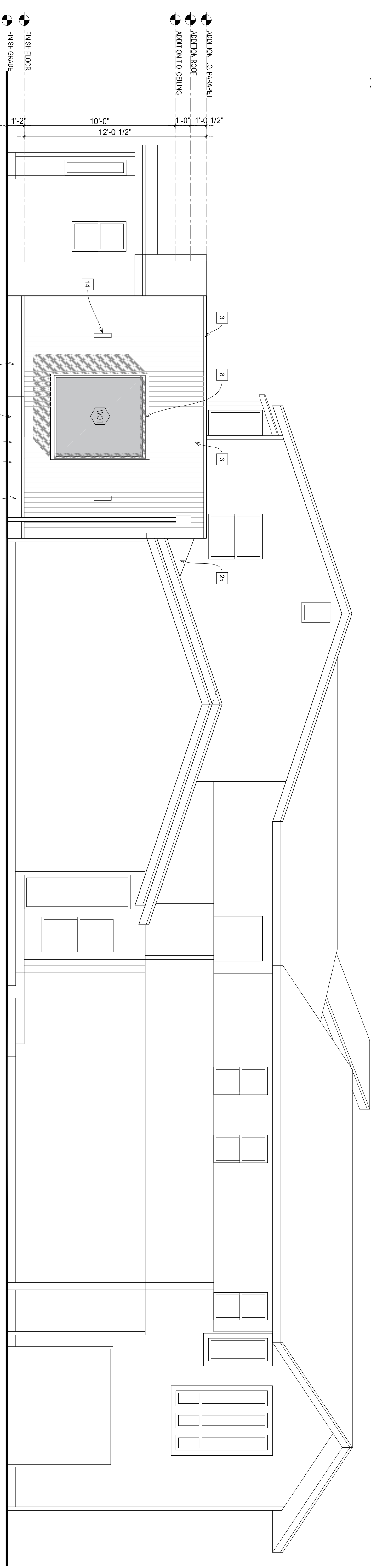
1. LUMAWOOD THERMOWOOD CEDAR SLAT PANEL OR SIMILAR
2. ALUMINUM PANEL - COLOR MATCHED W/ DOOR AND WINDOW FRAMES
3. METAL FLASHING
4. METAL DOWNPOUT AND SCUPPER
5. MICRO CEMENT
6. CRACK SPACE NEAR VENT BY LOTO VENT
7. CRACK SPACE NEAR VENT BY LOTO VENT
8. BRACE ALUMINUM PLATE @ WINDOW/DOOR SILL HEADER & JAMB W/ Z' PROJECTION
9. TEMPERED GLASS
10. (N) CRAWL SPACE FOUNDATION
11. (E) ASPHALT SHINGLE ROOF BEHIND
12. (N) CRAWL SPACE ACCESS HATCH - 18"x24"
13. (E) SPIKING
14. (N) OUTDOOR SCONCE LIGHT
15. (E) ROOF
16. (E) FLOOR
17. SLIDING POCKET DOOR
18. RECESSED RAILING
19. CHAIN LINK FENCING
20. (N) PORCH
21. CEILING PER STRUCTURE
22. F' GING OVER WOOD FLOORING
23. ROLLER SHADE
24. (N) BUILD-UP ROOF
25. (N) CRICKET
26. (N) GLASS DOOR
27. UN-VENTED ROOF - USE CLOSED CELL SPRAY FOAM INSIDE CAVITY AND Z' EXTERIOR RIBD FOAM INSULATION

EXTERIOR MATERIALS NOTES:

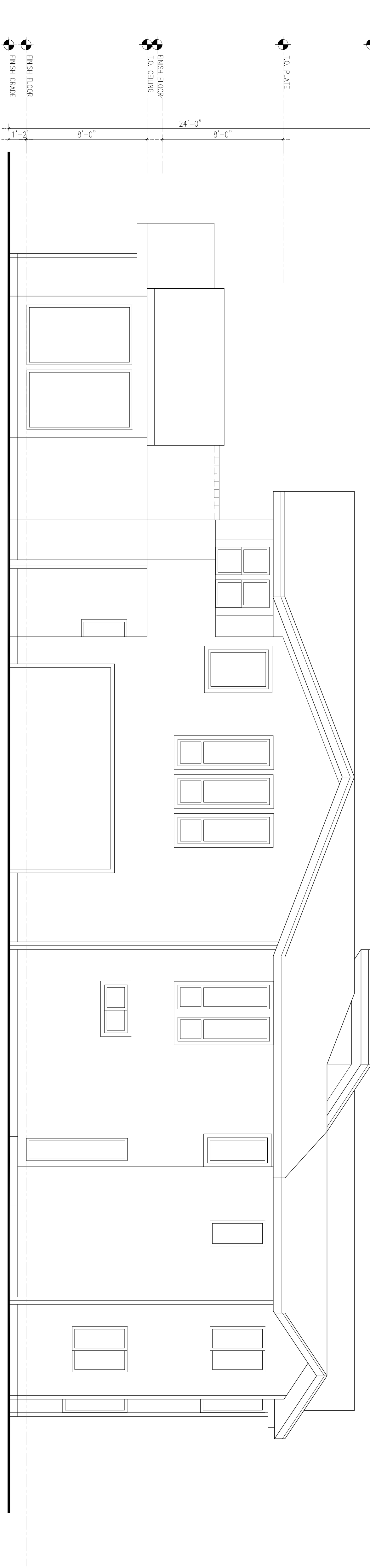
1. ALL EXTERIOR WOOD SHALL BE FIRE-RESISTANT TREATED WOOD. CALIFIRE W/ PRODUCT OR APPROVED EQUAL. (EXCEPTION 2X RAFTERS AND 2X ROOF DECKING/FASCIA)
2. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL. HEAVY TIMBER OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 127-A-1 (79A.3.1)
3. DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048MM) OF THE FINISH STRUCTURE SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC. 79A.4.1
4. SIKKENS' MATTE CLEAR FINISH ON ALL EXTERIOR WOOD. UNO.
5. MATERIAL NOTE AND LEADER AT SITE WALLS INDICATES MATERIAL TO BE APPLIED TO ALL APPLICABLE SURFACES.
6. ROOF COVERINGS SHALL BE OF CLASS "A" MATERIALS.
7. VALLEY FLASHING SHALL BE NOT LESS THAN 0.19 INCH (4.8MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH WIDE (9.5MM) UNDERLAMENT CONSISTING OF ONE LAYER OF NO. 23 1/2 IN (595MM) SHEET PLY OR GIBBS' GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (79A.1.2)
8. ROOF, ATTIC, AND EXTERIOR WALL VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT NONCOMBUSTIBLE WIRE MESH WITH 1/4-INCH (6MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES. (79A.2.1, 79A.2.2, 7907.3) - USE BRAND/GUARD OR APPROVED EQUAL.
9. BELIEFS AND GERTS SHALL MEET THE REQUIREMENTS OF SP 294.1 AND SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE. (79A.2.3)
11. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. (79A.3.2)
12. THE EXPOSED UNDERSIDE OF EXTERIOR PORCH/ BALCONY CEILINGS SHALL BE CONSTRUCTED WITH IGNITION-RESISTANT MATERIAL. EXTERIOR FINE FINISH SHALL BE PROVIDED TO THE UNDERSIDE OF ALL FINISH THAT COMPLETES WITH SP1 STANDARD 027-A.4.4
13. THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE CONSTRUCTED WITH IGNITION-RESISTANT MATERIAL. EXTERIOR FIRE RETARDANT, NON-COMBUSTIBLE OR ANY MATERIAL THAT COMPLES WITH SP1 STANDARD 127-A.4.4.
14. ANNULAR SPACE AROUND PIPES, ELECTRONIC CABLES, CONDUTS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF ROBBANTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCIES.
15. FULLY TEMPERED GLASS AND LAMINATED GLASS SHALL COMPLY WITH CATEGORY II.
16. OF CHSC 16 CFR PART 1201 OR CLASS A OF ANSI Z97.1.



1
Scale: 1/4" = 1'-0"



2
Scale: 1/4" = 1'-0"



3
Scale: 1/4" = 1'-0"

Revision	Description	Date

Client:

Project Descriptor:
1510 AVENIDA NUVEA

Drawing Descriptor:
PROPOSED ELEVATIONS

Project Number:
Date:
Drawn By:
Checked By:
Drawing No.:

A7

KEYNOTES

1. LUMAWOOD THERMOWOOD CEDAR SLAT PANEL OR SIMILAR
2. ALUMINUM PANEL - COLOR MATCHED W/ DOOR AND WINDOW FRAMES
3. METAL FLASHING
4. METAL DOWNSPOUT AND SCUPPER
5. MICRO CEMENT
6. CRAWL SPACE LINEAR VENT BY LOTD VENT
7. SPACE SHINGLES (ASPHALT SHINGLE) OVER SCOE
8. BRACE ALUMINUM PLATE @ WINDOW/DOOR SILL HEADERS & JAMB W/ Z' PROJECTION
9. TEMPERED GLASS
10. (N) CRAWL SPACE FOUNDATION
11. (E) ASPHALT SHINGLE ROOF BEHIND
12. (N) CRAWL SPACE ACCESS HATCH - 1MM, 18"x24"
13. (E) SIPING
14. (N) OUTDOOR SCONCE LIGHT
15. (E) ROOF
16. (E) FLOOR
17. SLIDING POCKET DOOR
18. RECESSED RAILING
19. CHAIR BLOCK
20. CHAIR BLOCK
21. CEILING PER STRUCTURE
22. 3" GWB OVER WOOD FLOORING
23. ROLLER SHADE
24. (N) BULL-DIP ROOF
25. (N) CHICKET
26. (N) GLASS DOOR
27. UN-VENTED ROOF - USE CLOSED CELL SPRAY FOAM

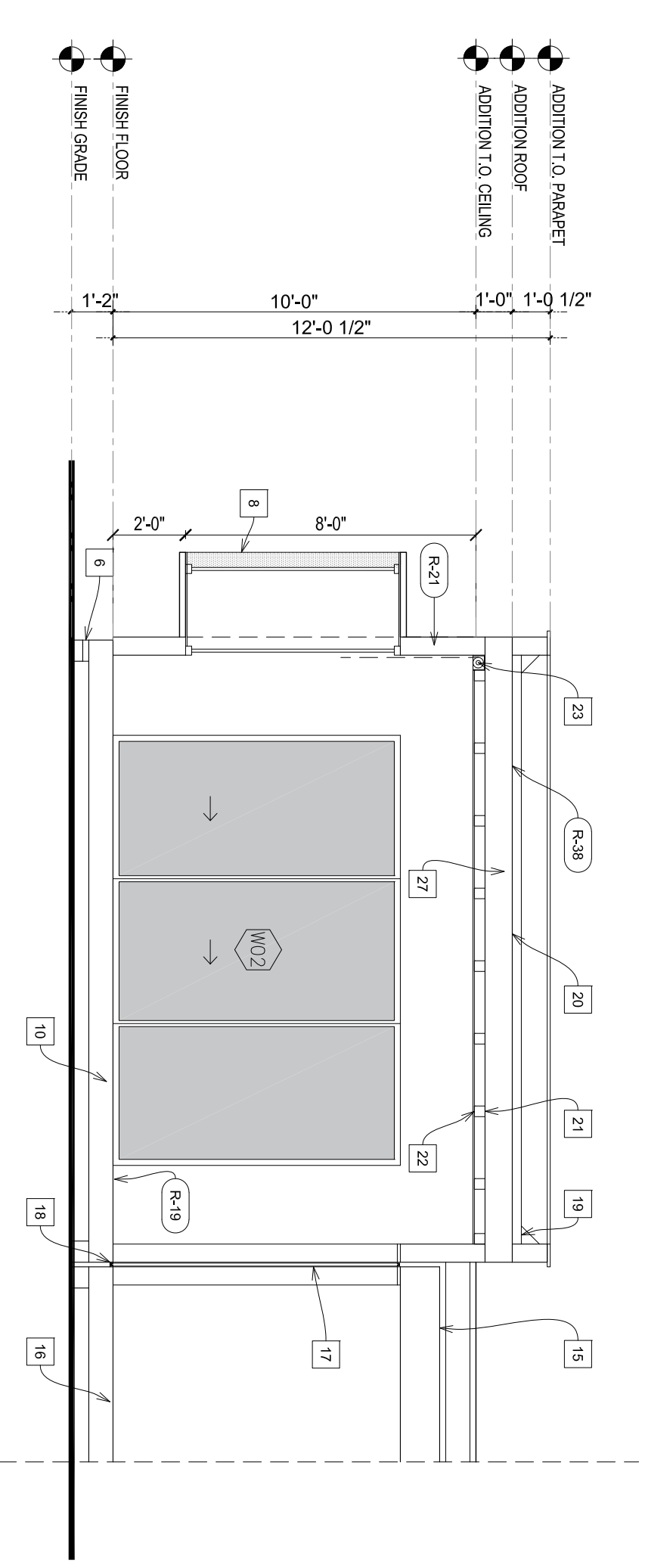
NOTE:
IF THE EXISTING CRAWL SPACE VENT IS COVERED BY THE BE PROVIDED ALONG THE EXPOSED PORTIONS OF THE EXISTING FOUNDATION WALLS IN ACCORDANCE WITH IRC R602.1.
IF THE EXISTING CRAWL SPACE VENT IS COVERED BY THE PROVIDED ALONG THE EXPOSED PORTIONS OF THE EXISTING FOUNDATION WALLS IN ACCORDANCE WITH IRC R602.1, USE INTERIOR DUCTING OR SQUEEGERS WITH A MINIMUM GUNCH DIAMETER TO EXTEND VENTILATION TO THE ORIGINAL CRAWL SPACE AREA.

ADDITION

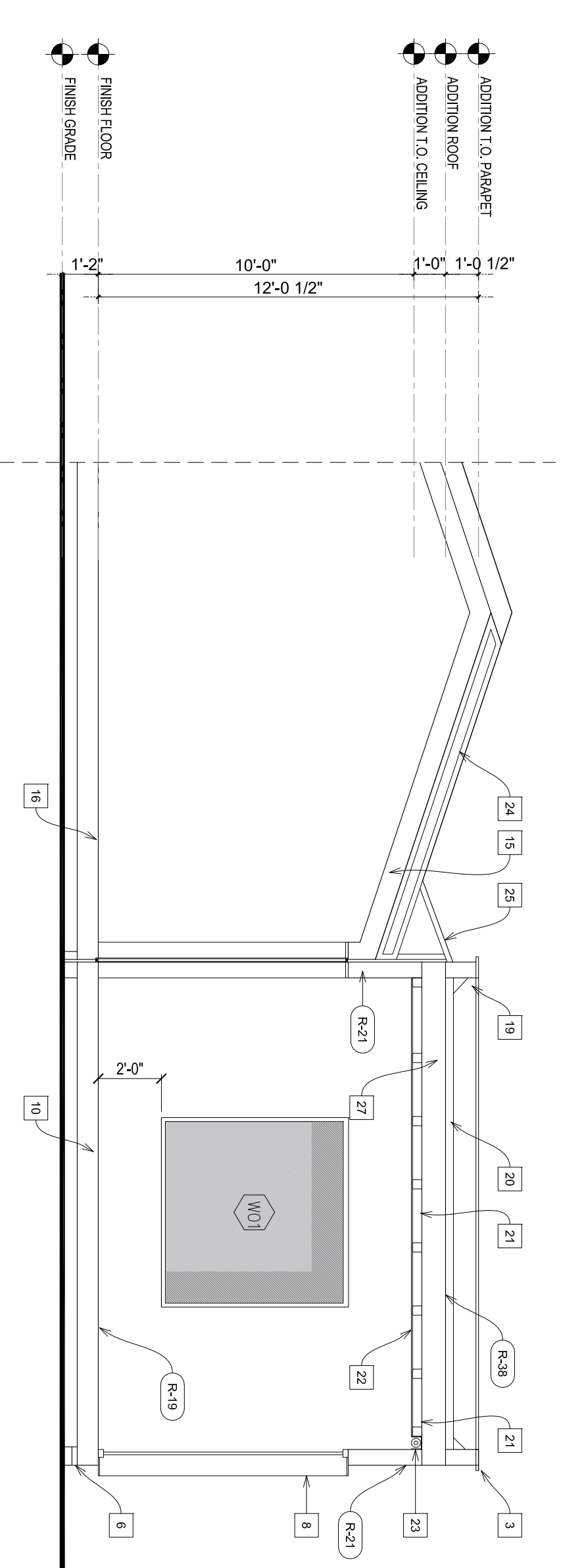


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1 SECTION 1
Scale: 1/4" = 1'-0"



2 SECTION 2
Scale: 1/4" = 1'-0"

WINDOW MARK	TYPE	WIDTH	HEIGHT	SILL HEIGHT	COMMENTS	MATERIAL
W01	FIXED	6'-0"	5' - 11"	2'-0"		ALUMINUM--POWDER COATED & TEMPERED GLASS
W02	SLIDING	12'-0"	7' - 11"			ALUMINUM--POWDER COATED & TEMPERED GLASS

DOOR SCHEDULE								
DOOR MARK	TYPE	WIDTH	HEIGHT	SPACE	DESCRIPTION	PANEL MATERIAL	FRAME MATERIAL	FINISH
D01	INTERIOR DOUBLE SLIDING POCKET DOOR	6' - 10"	7' - 11"	DINING/PLAY ROOM	TEXTURED GLASS	GLASS	ALUMINUM	POWDER COATED
D02	INTERIOR DOUBLE SLIDING POCKET DOOR	5' - 0"	7' - 11"	KITCHEN/PLAY ROOM	SOLID CORE W/ NATURAL WOOD VENEER	WOOD	ALUMINUM	POWDER COATED

DOOR MARK	TYPE	WIDTH	HEIGHT	SPACE	DESCRIPTION	PANEL MATERIAL	FRAME MATERIAL	FINISH
D01	INTERIOR DOUBLE SLIDING POCKET DOOR	6' - 10"	7' - 11"	DINING/PLAY ROOM	TEXTURED GLASS	GLASS	ALUMINUM	POWDER COATED
D02	INTERIOR DOUBLE SLIDING POCKET DOOR	5' - 0"	7' - 11"	KITCHEN/PLAY ROOM	SOLID CORE W/ NATURAL WOOD VENEER	WOOD	ALUMINUM	POWDER COATED

Revision	Description	Date

Client:

Project Description:

1510 AVENIDA NUVEA

Drawing Description:

**SECTIONS
DOOR & WINDOW SCHEDULE**

Project Number

Date

Drawn By

Checked By

Drawing No.

A8

Scale at ANSI Standard 0

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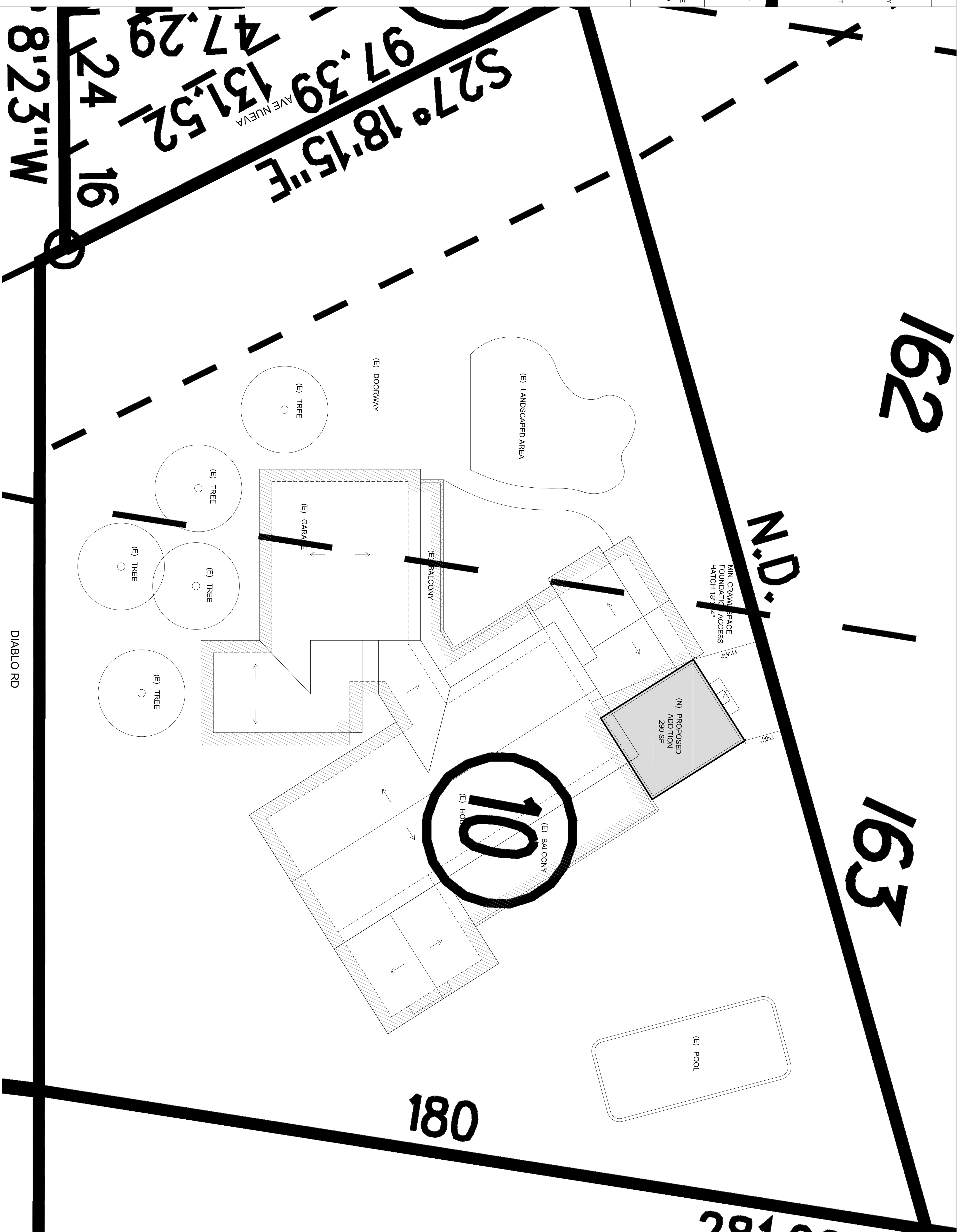
APPROVAL OF THESE PLANS DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

GENERAL NOTES:

- ALL UNDERGROUND UTILITY LINES TO THE NEAREST EXISTING POLE SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

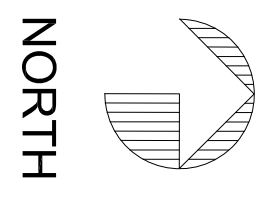
- ALL UNDERGROUND UTILITY LINES TO THE NEAREST EXISTING POLE SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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1 PROPOSED SITE PLAN

Scale: 1/8" = 1'-0"



Revision	Description	Date

Client: _____

Project Description: _____

1510 AVENIDA NUVEA

Drawing Description: _____

PROPOSED SITE PLAN

Project Number: _____

Date: _____

Drawn By: _____

Checked By: _____

Drawing No. _____