

**DIABLO MUNICIPAL ADVISORY COUNCIL  
REGULAR MEETING AGENDA<sup>1</sup>  
DIABLO COUNTRY CLUB RED HORSE TAVERN TOO  
TUESDAY, OCTOBER 10, 2023, 6:05 P.M.  
(IMMEDIATELY FOLLOWING DCSD MEETING)**

**CALL TO ORDER:**

**Vice Pres: Matthew Cox**

**ROLL CALL:**

**Secretary: Christine Chartier**

**Directors: Urbelis, Cox, Chartier, Lorenz, Slavonia**

**PUBLIC COMMENTS:** *Public comments will be taken on any subject including items on this agenda and are limited to 3 minutes per person when speaking in English, and 6 minutes per person when using a translator. Comments by the audience are not intended to result in a dialogue between members of the audience or between the audience and the Board. Please note that under Brown Act regulations, no member of the Board may engage in any discussion, other than a brief comment or request for clarification, of any item raised by any member of the audience unless that item is included as an agenda item*

**1. ADMINISTRATIVE COMMUNICATION AND ACTIONS:** None

**2. LAND USE COMMUNICATION AND ACTIONS:**

- a) Discuss and provide comment to County on 28 Campo Pelota tree removal permit request.
- b) Discuss and provide comment to County on 2080 Calle Los Callados variance request for a 9-foot wall/wood fence along the property line.

**3. CONSENT CALENDAR**

Approve the minutes of the September 12, 2023, Regular Meeting.

**4. FUTURE AGENDA ITEM ANNOUNCEMENT**

County presentation of Envision 2040 General Plan and CAP update.

**5. CALL OF NEXT MEETING/ADJOURNMENT:**

The next DMAC Regular Board meeting is scheduled for November 14, 2023, following the DCSD meeting which begins at 6:00 p.m.

Diablo Municipal Advisory Council by,  
Kathy Torru, General Manager

DMAC Board Meetings are accessible to people with disabilities. Individuals who need special assistance or a disability-related modification or accommodation (including auxiliary aids or services) to participate in this meeting; or who have a disability and wish to request an alternative format for the agenda, meeting notice, agenda packet, or other writings that may be distributed at the meeting should contact the General Manager at least one working day before the meeting at [generalmanager@diablocsd.org](mailto:generalmanager@diablocsd.org). Notification in advance of the meeting will enable the District to make reasonable arrangements to ensure accessibility to this meeting and the materials related to it. Public records that relate to any item on the open session agenda are available for public inspection by contacting the General Manager and on the District's website <http://diablocsd.org>.

<sup>1</sup> Agenda attachments are available on the DCSD's website ([www.diablocsd.org](http://www.diablocsd.org)) home page under Agenda.



## AGENCY COMMENT REQUEST

Date \_\_\_\_\_

We request your comments regarding the attached application currently under review.

<p style="text-align: center;"><i>DISTRIBUTION</i></p> <p><u>INTERNAL</u></p> <p> <input type="checkbox"/> Building Inspection      <input type="checkbox"/> Grading Inspection  <input type="checkbox"/> Advance Planning      <input type="checkbox"/> Housing Programs  <input type="checkbox"/> Trans. Planning      <input type="checkbox"/> Telecom Planner  <input type="checkbox"/> ALUC Staff      <input type="checkbox"/> HCP/NCCP Staff  <input type="checkbox"/> APC PW Staff      <input type="checkbox"/> County Geologist         </p> <p><u>HEALTH SERVICES DEPARTMENT</u></p> <p><input type="checkbox"/> Environmental Health    <input type="checkbox"/> Hazardous Materials</p> <p><u>PUBLIC WORKS DEPARTMENT</u></p> <p> <input type="checkbox"/> Engineering Services (1 Full-size + 3 email Contacts)  <input type="checkbox"/> Traffic  <input type="checkbox"/> Flood Control (Full-size)    <input type="checkbox"/> Special Districts         </p> <p><u>LOCAL</u></p> <p><input type="checkbox"/> Fire District _____</p> <p style="margin-left: 20px;"> <input type="checkbox"/> San Ramon Valley – (email) <a href="mailto:rwendel@srvfire.ca.gov">rwendel@srvfire.ca.gov</a>  <input type="checkbox"/> Consolidated – (email) <a href="mailto:fire@cccfdp.org">fire@cccfdp.org</a>  <input type="checkbox"/> East CCC – (email) <a href="mailto:brodriguez@cccfdp.org">brodriguez@cccfdp.org</a> </p> <p> <input type="checkbox"/> Sanitary District _____  <input type="checkbox"/> Water District _____  <input type="checkbox"/> City of _____  <input type="checkbox"/> School District(s) _____  <input type="checkbox"/> LAFCO  <input type="checkbox"/> Reclamation District # _____  <input type="checkbox"/> East Bay Regional Park District  <input type="checkbox"/> Diablo/Discovery Bay/Crockett CSD  <input type="checkbox"/> MAC/TAC _____  <input type="checkbox"/> Improvement/Community Association  <input type="checkbox"/> CC Mosquito &amp; Vector Control Dist (email)         </p> <p><u>OTHERS/NON-LOCAL</u></p> <p> <input type="checkbox"/> CHRIS (email only: <a href="mailto:nwic@sonoma.edu">nwic@sonoma.edu</a>)  <input type="checkbox"/> CA Fish and Wildlife, Region 3 – Bay Delta  <input type="checkbox"/> Native American Tribes         </p> <p><u>ADDITIONAL RECIPIENTS</u></p> <p>_____</p> <p>_____</p>	<p><i>Please submit your comments to:</i></p> <p>Project Planner _____</p> <p>Phone # _____</p> <p>E-mail _____</p> <p>County File # _____</p> <p>Prior to _____</p> <p style="text-align: center;">* * * * *</p> <p>We have found the following special programs apply to this application:</p> <p> <input type="checkbox"/> Active Fault Zone (Alquist-Priolo)  <input type="checkbox"/> Flood Hazard Area, Panel # _____  <input type="checkbox"/> 60-dBA Noise Control  <input type="checkbox"/> CA EPA Hazardous Waste Site                    High or Very High FHSZ         </p> <p style="text-align: center;">* * * * *</p> <p><b>AGENCIES:</b> Please indicate the applicable code section for any recommendation required by law or ordinance. Please send copies of your response to the Applicant and Owner.</p> <p>Comments: <input type="checkbox"/> None    <input type="checkbox"/> Below    <input type="checkbox"/> Attached</p> <p>_____</p> <p>Print Name _____</p> <p>_____</p> <p>Signature _____ DATE _____</p> <p>Agency phone # _____</p>
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# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDTP23-00020**

**File Date: 4/12/2023**

**Applicant:**

Brian Fenske Traverso Tree Service, Inc  
4080 Cabrilho Drive  
Martinez, CA 94553

office@traversotree.com  
(925) 930-7901

**Property Owner:**

JOSHUA & CHELSE FREEMAN  
4201 VERSAILLES AVE  
DALLAS, TX 752053008

Josh@horsleybridge.com  
(925) 389-6644

**Project Description:**

Request approval of a Tree Permit application to allow removal of a Redwood tree at the south side of the property (next to Calle Arroyo) that is causing property damage to the access bridge.

**Project Location: (Address: 28 CAMPO PELOTA , DIABLO, CA 94528), (APN: 195180038)**

**Additional APNs:**

**General Plan Designation(s):** SL

**Zoning District(s):** "R-20, -UE"

**Flood Hazard Areas:** See Map

**AP Fault Zone:**

**60-dBA Noise Control:**

**MAC/TAC:**

**Sphere of Influence:**

**Fire District:** SAN RAMON VLY FIRE

**Sanitary District:** CENTRAL SANITARY

**Housing Inventory Site:**

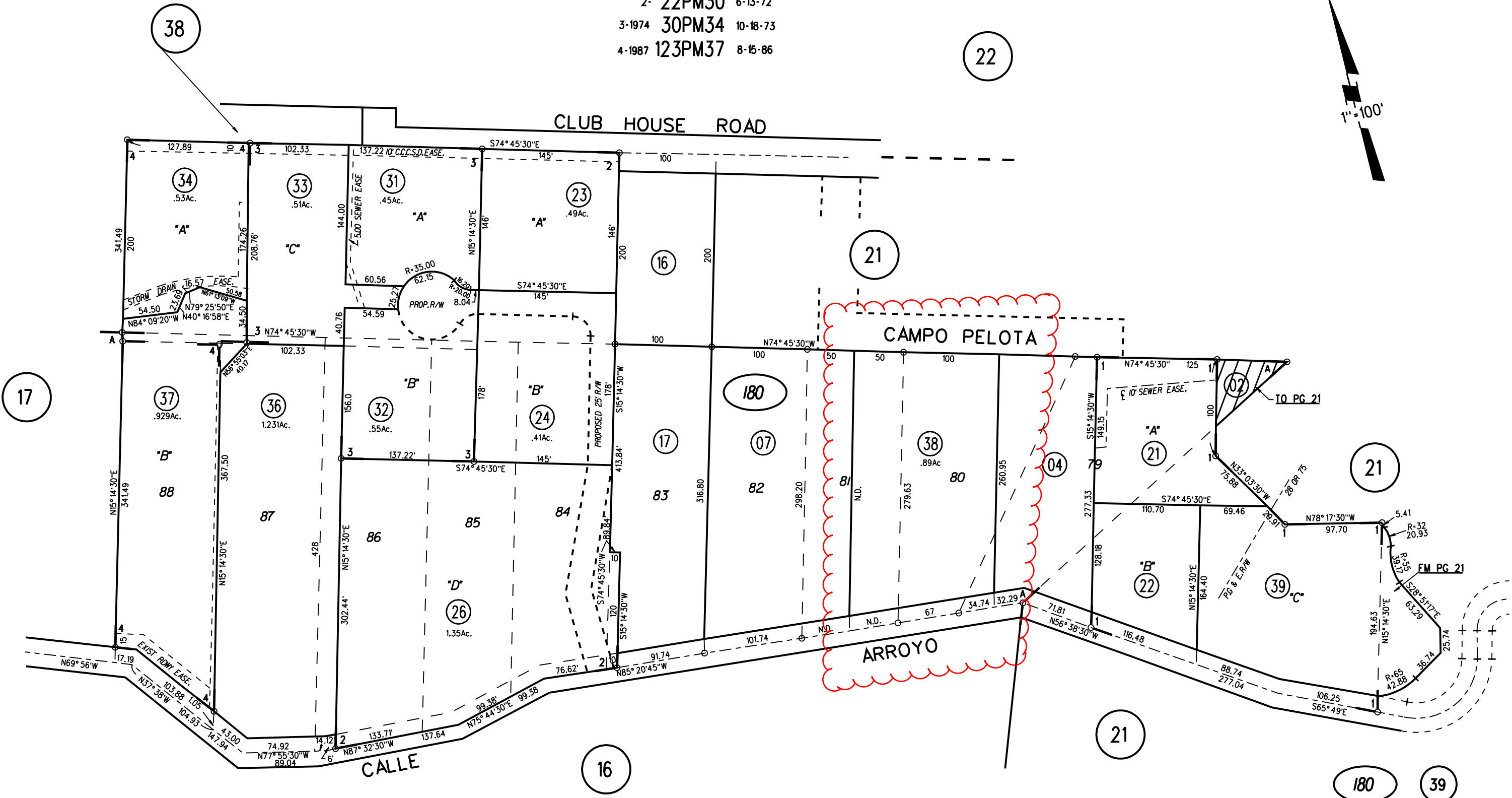
**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
TPS051D	Alteration of Protected Tree	002606-9660-REV-000-5B051D	750.00	750.00
<b>Total:</b>			<b>780.00</b>	<b>780.00</b>

A- MT DIABLO ESTATE PARK SUB'N NO 1 MB 5-301

POR SEC 22 T1S R1W MDBM

- 1- 14PM45 11-20-70
- 2- 22PM30 6-13-72
- 3-1974 30PM34 10-18-73
- 4-1987 123PM37 8-15-86



17

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22

16

21

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180

39

NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.



General Plan Designation



Legend

- Board of Supervisors' Districts
- City Limits
- Unincorporated**
- General Plan**
- SV (Single Family Residential - Ver
- SL (Single Family Residential - Low
- SM (Single Family Residential - Me
- SH (Single Family Residential - Hig
- ML (Multiple Family Residential - Lc
- MM (Multiple Family Residential - M
- MH (Multiple Family Residential - H
- MV (Multiple Family Residential - V
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- MO (Mobile Home)
- M-1 (Parker Avenue Mixed Use)
- M-2 (Downtown/Waterfront Rodeo I
- M-3 (Pleasant Hill BART Mixed Use
- M-4 (Willow Pass Road Mixed Use)
- M-5 (Willow Pass Road Commercia
- M-6 (Bay Point Residential Mixed U
- M-7 (Pittsburg/Bay Point BART Star
- M-8 (Dougherty Valley Village Cent
- M-9 (Montalvin Manor Mixed Use)
- M-10 (Willow Pass Business Park M
- M-11 (Appian Way Mixed Use)
- M-12 (Triangle Area Mixed Use)
- M-13 (San Pablo Dam Road Mixed
- M-14 (Heritage Mixed Use)
- CO (Commercial)
- OF (Office)
- BP (Business Park)
- LI (Light Industry)
- HI (Heavy Industry)
- AL, OIBA (Agricultural Lands & Off
- CR (Commercial Recreation)
- ACO (Airport Commercial)
- LF (Landfill)
- PS (Public/Semi-Public)

1: 2,257



0.1 0 0.04 0.1 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

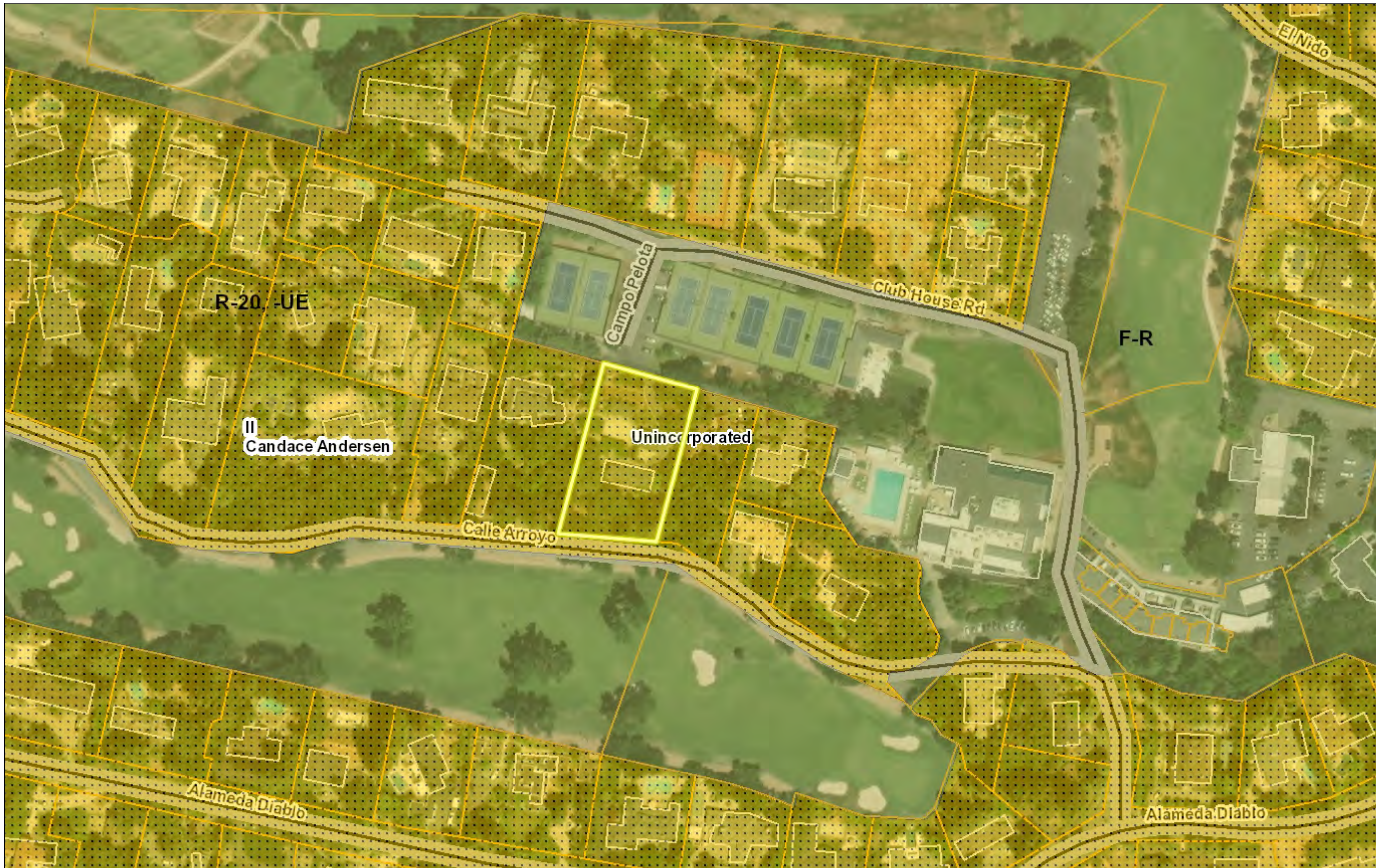
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Contra Costa County -DOIT GIS





Legend

- Board of Supervisors' Districts
- City Limits
- Unincorporated
- Zoning
- R-6 (Single Family Residential)
- R-6, -FH -UE (Flood Hazard and A
- R-6 -SD-1 (Slope Density Hillside I
- R-6 -TOV -K (Tree Obstruction anc
- R-6, -UE (Urban Farm Animal Excl
- R-6 -X (Railroad Corridor Combinir
- R-7 (Single Family Residential)
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- R-10, -UE (Urban Farm Animal Exc
- R-12 (Single Family Residential)
- R-15 (Single Family Residential)
- R-20 (Single Family Residential)
- R-20, -UE (Urban Farm Animal Exc
- R-40 (Single Family Residential)
- R-40, -FH -UE (Flood Hazard and A
- R-40, -UE (Urban Farm Animal Exc
- R-65 (Single Family Residential)
- R-100 (Single Family Residential)
- D-1 (Two Family Residential)
- D-1 -T (Transitional Combining Dist
- D-1, -UE (Urban Farm Animal Excl
- M-12 (Multiple Family Residential)
- M-12 -FH (Flood Hazard Combining
- M-17 (Multiple Family Residential)
- M-29 (Multiple Family Residential)
- F-R (Forestry Recreational)
- F-R -FH (Flood Hazard Combining I
- F-1 (Water Recreational)
- F-1 -FH (Flood Hazard Combining I
- A-2 (General Agriculture)
- A-2, -BS (Boat Storage Combining I
- A-2, -BS -SG (Boat Storage and So
- A-2 -FH (Flood Hazard Combining I
- A-2, -FH -SG (Flood Hazard and Sc

1:2,257



0.1 0 0.04 0.1 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

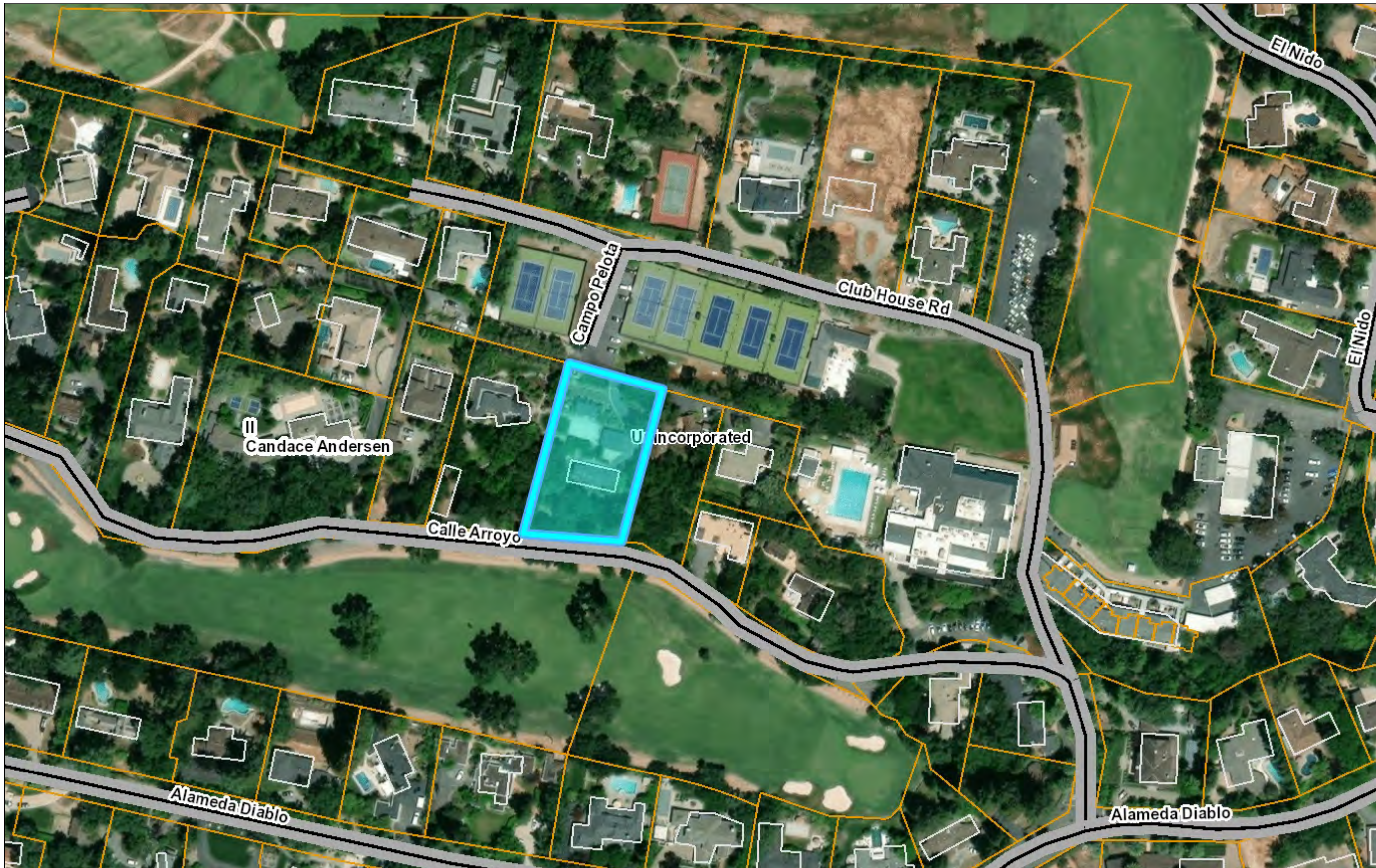
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Notes

Contra Costa County -DOIT GIS

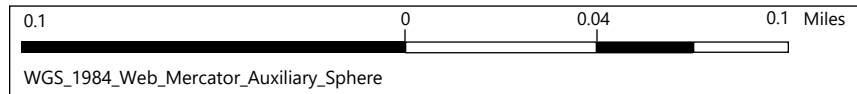




Legend

-  Board of Supervisors' Districts
-  City Limits
- Unincorporated
-  Streets
-  Building Footprints
-  Assessment Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations

1: 2,257



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**Notes**  
 Contra Costa County -DOIT GIS





The blue dashed lines show the approximate limit of the property (approx. 150' for north & south property lines and 275' west & 245' east).





March 28, 2023

Josh Freeman  
925-389-6644 | [Josh@horsleybridge.com](mailto:Josh@horsleybridge.com)

Dear Josh,

I visited your property at 28 Campo Pelota in Diablo to assess a redwood at the south end of your property. I assessed the tree from Calle Arroyo, since there was no access down to the creek.

Species: Coast redwood (*Sequoia sempervirens*)  
Diameter at Breast Height (DBH, 4.5'): ~ 34" & 34"  
(estimated)  
Health & Structure: Fair

The double-trunked redwood is located on the bank of a creek that runs along the south end of the property, right next to a bridge that provides access from Calle Arroyo to the home. Despite being on a creek, where water should be more abundant, the redwood still shows symptoms of stress – slightly yellowed & sparse canopy.

The primary issue is the eastern trunk of the tree. It has grown into the bridge and pushed the wood railing out of place. I don't know if there is any structural damage to the bridge, but as the tree continues to grow, that will likely occur. At that time, engineered solutions will be needed to repair the bridge. The only way to mitigate future bridge damage is to remove the tree. The stump should be left in place to avoid disturbing the creek.

Please let me know if you have any questions.

Sincerely,

Jennifer Tso  
Board Certified Master Arborist #WE-10270B  
Tree Risk Assessor Qualified







The trunk of the tree is already pushing against the wooden railing along the bridge. Structural damage will likely occur as the tree continues to enlarge.









# CONTRA COSTA

## CONSERVATION & DEVELOPMENT

### Planning Application Summary

**County File Number: CDVR23-01052**

**File Date: 9/7/2023**

**Applicant:**

John Mackenzie  
 Mackenzie Construction Services Inc.  
 P.O. Box 49  
 Port Costa, CA 94569  
 1mackbuild@gmail.com  
 (510) 367-6098

**Property Owner:**

Eric N Reichenadter  
 701 5TH Avenue Suite 3300  
 Seattle, WA 98104  
 ereichenadter@primee.com  
 (425) 890-4464

**Project Description:**

The applicant requests approval of a Variance to allow a 0-foot side yard for the construction of a new 9-foot-tall retaining wall/wood fence combination (3 ft. retaining wall + 6 ft. fence structure) to replace the existing retaining wall/wood fence combination along the western property line on a lot that has a substandard average width.

**Project Location: (Address: 2080 CALLE LOS CALLADOS , DIABLO, CA 94528), (APN: 195280040)**

**Additional APNs:**

<b>General Plan Designation(s):</b> SL	<b>Zoning District(s):</b> "R-20, -UE"
<b>Flood Hazard Areas:</b> X	<b>AP Fault Zone:</b>
<b>60-dBA Noise Control:</b>	<b>MAC/TAC:</b> DIABLO MAC
<b>Sphere of Influence:</b>	<b>Fire District:</b> SAN RAMON VALLEY FIRE
<b>Sanitary District:</b> CENTRAL SANITARY	<b>Housing Inventory Site:</b>

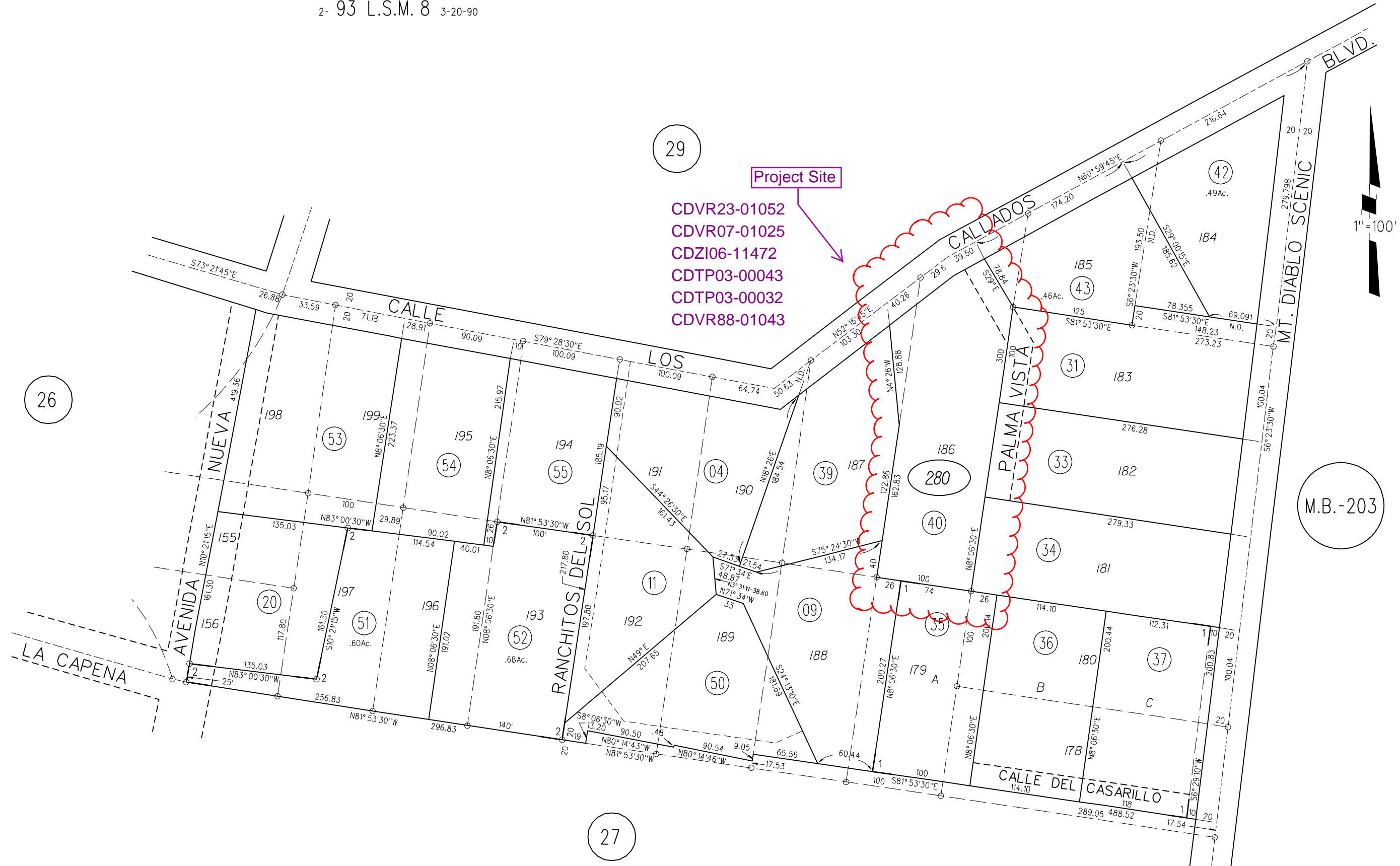
**Fees:**

Fee Item	Description	Account Code	Total Fee	Paid
052B	Notification Fee (\$30)	002606-9660-REV-000-5B052B	30.00	30.00
HSDR	Environmental Health Fee (\$57)	002606-9660-REV-000-5BHSDR  \$5.00	57.00	57.00
VRS0044	Zone Variance - DCD	002606-9660-REV-000-5B0044	3250.00	3250.00
<b>Total:</b>			<b>3337.00</b>	<b>3337.00</b>



1- RECORD OF SURVEY 44 L.S.M. 16 8-9-66

2- 93 L.S.M. 8 3-20-90



Project Site

- CDVR23-01052
- CDVR07-01025
- CDZI06-11472
- CDTP03-00043
- CDTP03-00032
- CDVR88-01043



M.B. -203

26

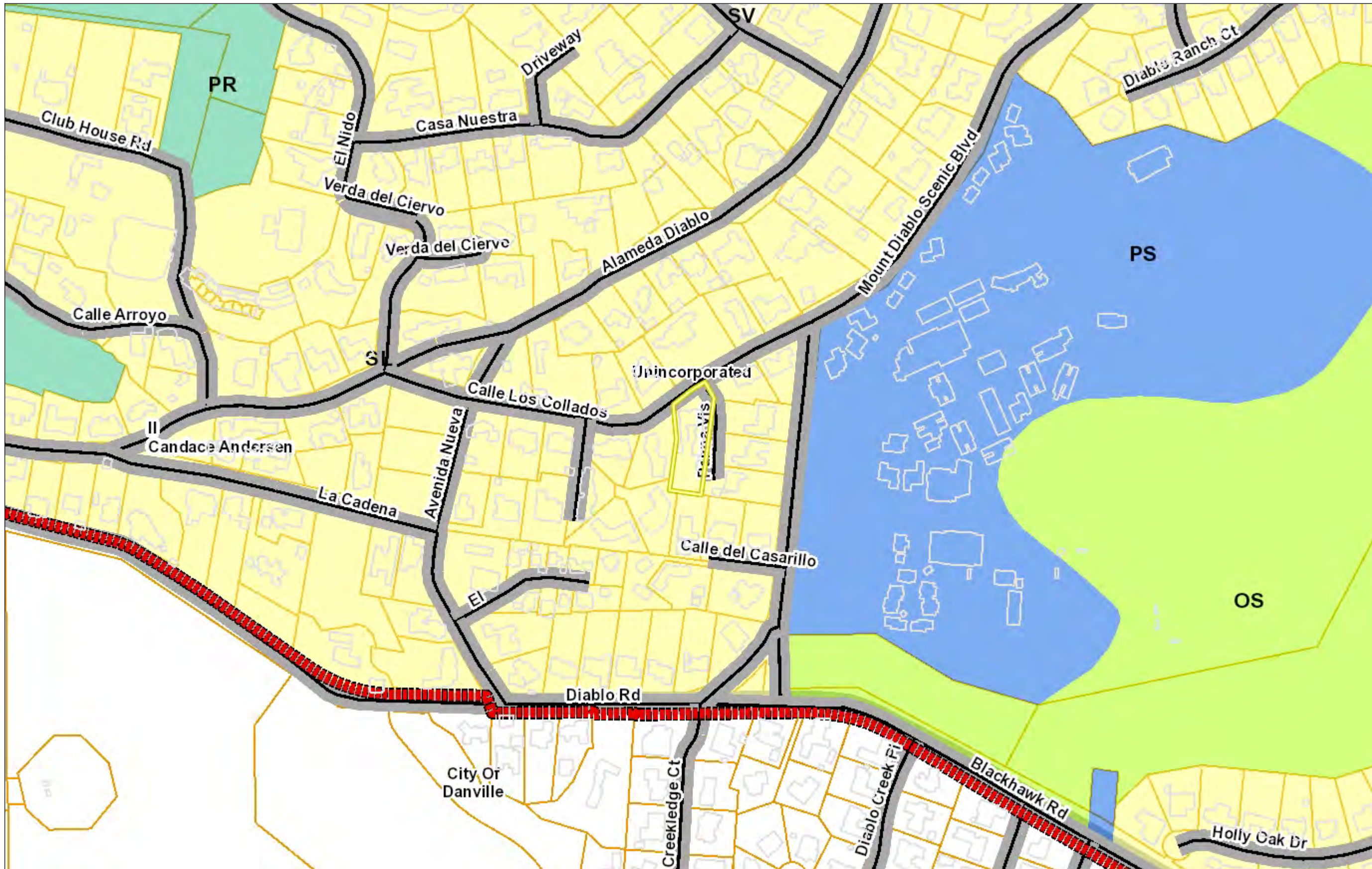
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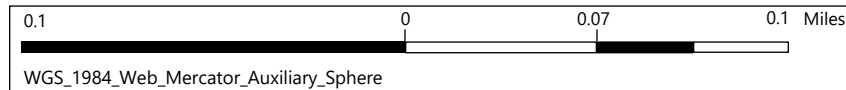
General Plan: Single-Family Residential-Low Density (SL)



Legend

- Building Outlines
- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- General Plan
  - SV (Single Family Residential - Ver
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  - AL, OIBA (Agricultural Lands & Off
  - CR (Commercial Recreation)

1: 4,514



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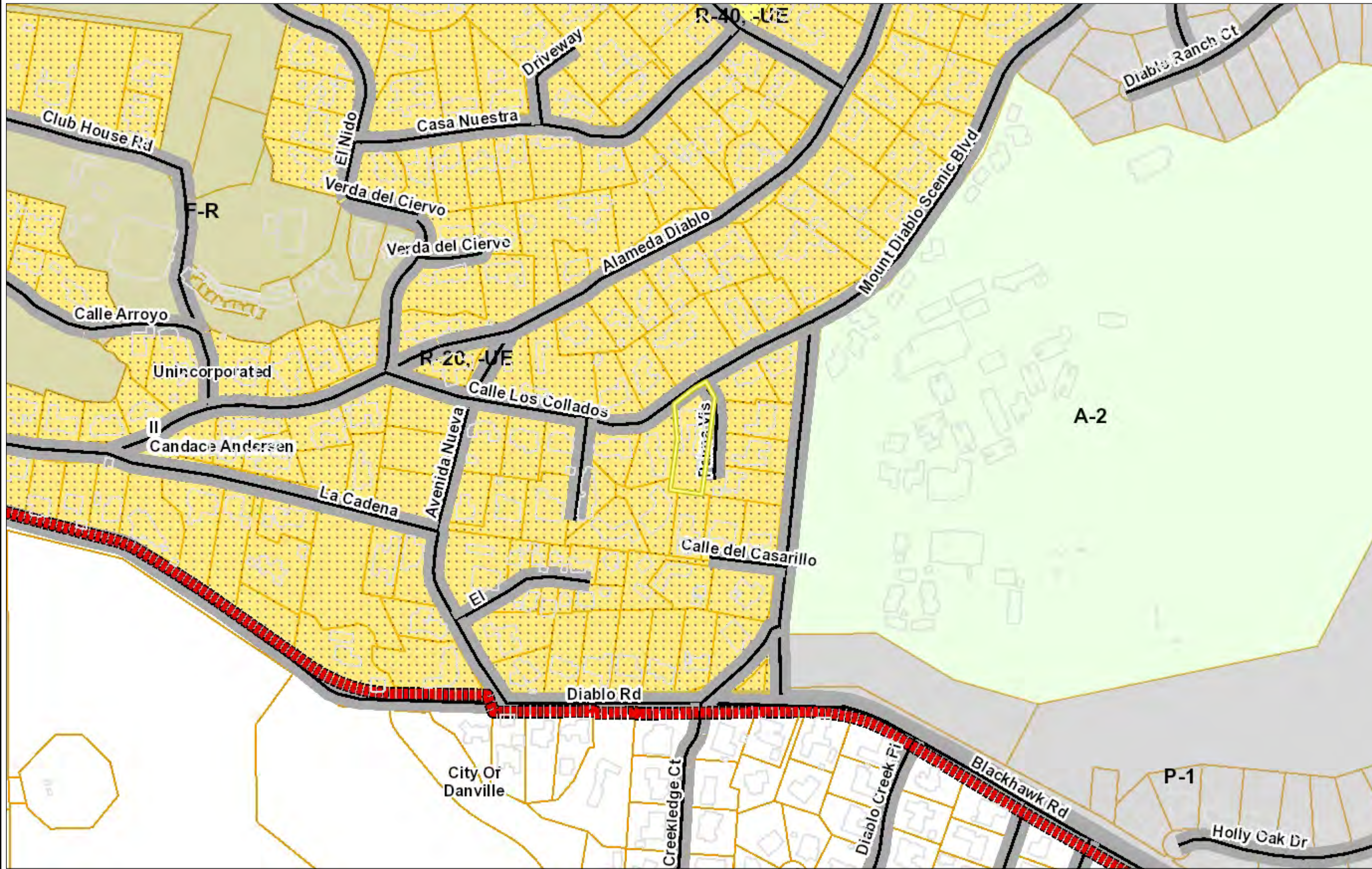
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Notes

CDVR23-01052



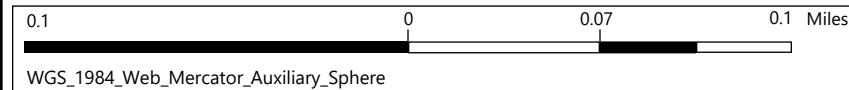
Zoning: R-20 Single-Family Residential District, Urban Farm Animal Exclusion (-UE)



Legend

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- Zoning
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  - A-2 (General Agriculture)
  - A-2, -BS (Boat Storage Combining I

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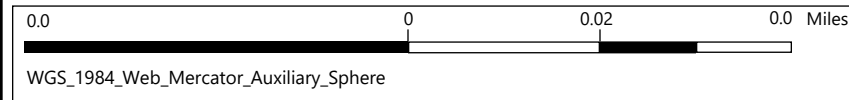
Notes  
CDVR23-01052





Legend

- Building Outlines
- City Limits
- Unincorporated
- Highways
- Highways Bay Area
- Streets
- Maintained Roads
- Board of Supervisors' Districts
- Water Bodies
- County Boundary
- Bay Area Counties
- Assessment Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations



1: 1,128

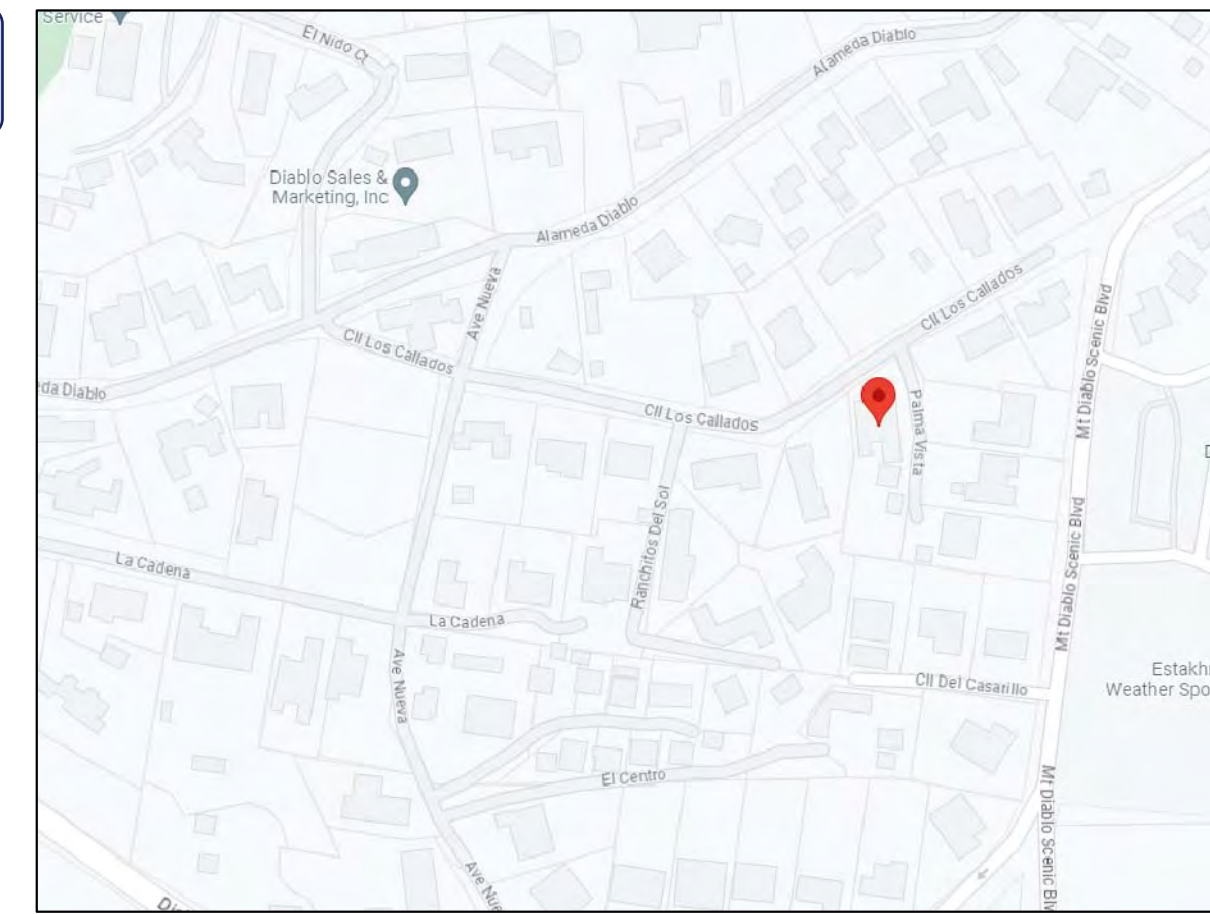
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CDVR23-01052



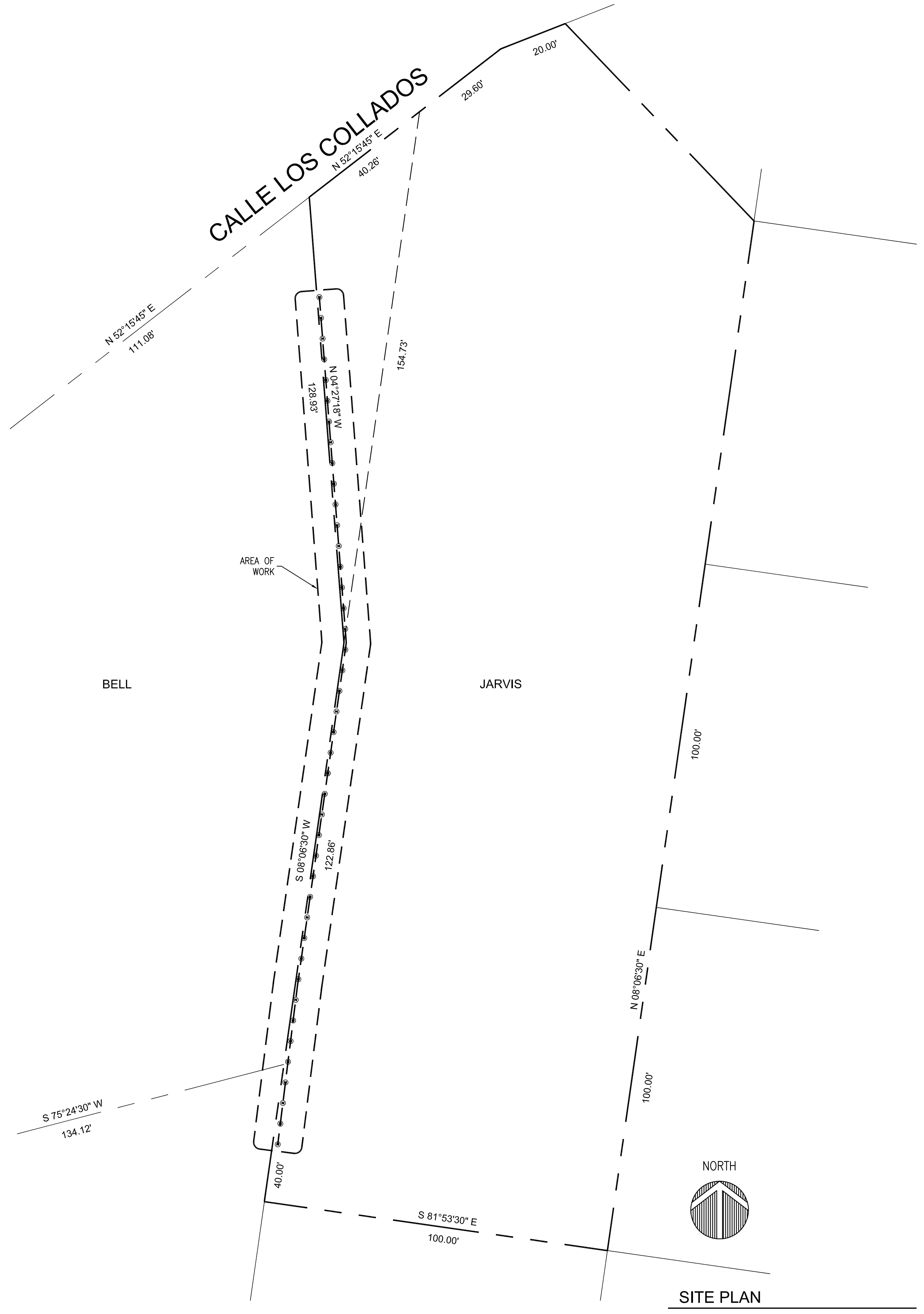
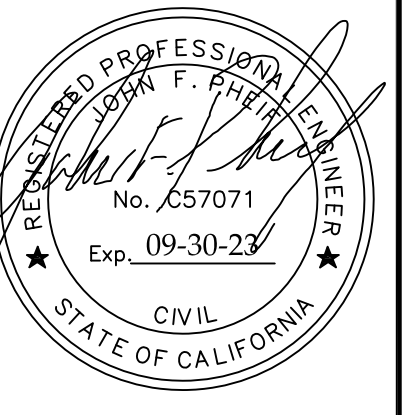
# SITE RETAINING WALL REPLACEMENT 2080 CALLE LOS COLLADOS DIABLO, CA

RECEIVED on 09/07/2023 CDVR23-01052  
By Contra Costa County  
Department of Conservation and Development



LOCATION MAP  
NOT IN SCALE  
SITE COORDINATES:  
LATITUDE: N. 37° 50' 4.31"  
LONGITUDE: W. 121° 57' 11.12"

**PHEIF**  
ENGINEERING  
102 E. BLITHEDALE AVE.  
MILL VALLEY, CA 94941  
(415) 381-8150  
INFO@PHEIFENGINEERING.COM



### CONTACT DATA:

PROPERTY OWNER: ERIC REICHANADTER  
2080 CALLE LOS COLLADOS  
DIABLO, CA 94528  
425-890-4464

APPLICANT: MACKENZIE CONSTRUCTION SERVICES INC.  
P.O. BOX 49  
PORT COSTA, CA 94569  
510-367-6098

DESIGN PROFESSIONAL OF RECORD: JOHN F. PHEIF  
PHEIF ENGINEERING, INC.  
102 E. BLITHEDALE AVE. STE. 2  
MILL VALLEY, CA 94941  
415-381-8150

### SHEET INDEX:

C-0 SITE PLAN, NOTES AND LEGEND  
S-1 RETAINING WALL LAYOUT PLAN, WALL SECTION & STRUCTURAL NOTES

### PROJECT SCOPE INFORMATION:

SCOPE OF WORK: REMOVE AND REPLACE "IN-KIND" AN EXISTING WOOD SITE RETAINING WALL. THE WALL LOCATION WILL BE IN THE SAME PLACE AS EXISTING WALL.

A.P.N.  
ZONING: OCCUPANCY: R3  
STRUCTURE TYPE: V-B

### PROJECT CONSTRUCTION NOTES:

- CONSTRUCTION HOURS: WEEKDAYS FROM 8AM TO 5PM. CONSTRUCTION NOISE IS NOT ALLOWED BEFORE BEFORE 8AM OR AFTER 5PM. CONSTRUCTION IS NOT ALLOWED ON SATURDAYS, SUNDAYS AND HOLIDAYS.
- PROJECT RELATED WORKER, CONTRACTOR AND SUB-CONTRACTOR PARKING SHALL BE ON-SITE AT PRIVATE PROPERTY.
- ROAD/LANE CLOSURES, TRAFFIC DELAYS: REQUIRE A PERMIT FROM THE DEPT. OF PUBLIC WORKS. APPLICATIONS FOR A LANE CLOSURE/TRAFFIC DELAY SHALL BE ACCOMPANIED WITH A TRAFFIC CONTROL PLAN. APPLY FOR THESE PERMITS AT LEAST 72 HOURS IN ADVANCE.
- JOB BOX, MATERIAL STORAGE, LOADING/UNLOADING AREA, AND PORTABLE TOILETS SHALL BE WITHIN PRIVATE PROPERTY BOUNDARIES. THESE ELEMENTS ARE NOT ALLOWED IN THE RIGHT-OF-WAY.
- UPON COMPLETION OF ENCROACHMENT AND EXPOSURE OF THE SIDEWALK, CONTRACTOR SHALL ARRANGE INSPECTION OF SIDEWALK FROM PUBLIC WORKS TO ASCERTAIN AND MARK AREAS TO BE REMOVED AS A RESULT OF SIDE OR CONSTRUCTION.

### ABBREVIATIONS:

- A.B. AGGREGATE BASE
- A.C. ASPHALT CONCRETE
- BC BEGINNING OF CURVE
- BM BENCH MARK
- BVC BEGIN VERTICAL CURVE
- CMP CORRUGATED METAL PIPE
- CP CONCRETE PIPE
- D.I. DROP INLET
- EC END OF CURVE
- EL ELEVATION
- EP EDGE OF PAVEMENT
- (E) EXISTING
- (N) NEW
- EVC END VERTICAL CURVE
- FC FACE OF CURB
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOW LINE
- GB GRADE BREAK
- H=5' HEIGHT OF WALL
- HP HIGH POINT
- IE INVERT ELEVATION
- OL OVERHEAD LINE

### GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH THE FOLLOWING:
  - THESE PLANS
  - 2022 CALIFORNIA BUILDING CODE
  - 2022 CALIFORNIA RESIDENTIAL CODE
  - 2022 EDITION OF THE CALIFORNIA FIRE CODE.
  - 2022 EDITION OF THE CALIFORNIA PLUMBING CODE.
  - 2022 EDITION OF THE CALIFORNIA ELECTRICAL CODE.
  - 2022 EDITION OF THE CALIFORNIA MECHANICAL CODE.
  - ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION OF UTILITIES SHALL CONFORM TO THE STANDARDS SPECIFICATIONS OF EACH UTILITY AGENCY.
- PARKING OF CONSTRUCTION VEHICLES ALONG CALLE LOS COLLADOS SHALL BE WITHIN PERMITTING AGENCIES OR H.O.A. PARKING REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE EQUIPMENT AND PERSONNEL FOR WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES AT A FREQUENCY SUFFICIENT TO AVOID VISIBLE DUST PLUMES, EARTH MOVING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST CONTROL EFFORTS ARE INEFFECTIVE. ALL MATERIAL TRANSPORT TRUCKS SHALL BE COVERED OR WETTED AS NEEDED TO PREVENT VISIBLE DUST.
- MOTORIZED CONSTRUCTION EQUIPMENT SHALL BE KEPT IN GOOD WORKING ORDER AND PROPERLY FITTED WITH MUFFLERS AND OTHER NOISE REDUCTION MEANS.
- ALL WORK, ON SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CONTRA COSTA COUNTY STANDARD SPECIFICATIONS AND REQUIREMENTS AND BE IN CONFORMANCE WITH THE 2022 C.B.C.
- ALL EXCAVATION WORK SHALL BE OBSERVED AND APPROVED BY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL DETERMINE HIS OWN EARTHWORK QUANTITIES. EXCESS MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN A LEGAL MANNER.
- PLACEMENT OF STEEL SOLDIER PILE OR ANY OTHER REQUIRED REINFORCING STEEL SHALL BE OBSERVED BY PHEIF ENGINEERING (415) 381-8150 PRIOR TO PLACEMENT OF CONCRETE.
- ALL EXISTING DEBRIS, AND EXCESS AND/OR UNSUITABLE MATERIAL WITHIN THE THE WORK AREA SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT WHEN LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER
- SMOKE ALARMS SHALL BE PROVIDED AT ALL BEDROOMS AND IN AREAS LEADING TO BEDROOMS. THERE MUST BE A MINIMUM OF ONE SMOKE ALARM ON EACH LEVEL. SMOKE ALARMS MUST BE HARDWIRED WITH BATTERY BACK UP AND MUST BE INTER-CONNECTED. SMOKE ALARMS INSTALLED IN EXISTING SPACE MAY BE BATTERY OPERATED UNLESS THERE IS AN ATTIC OR CRAWL SPACE FOR FISHING CABLES OR FINISHES ARE REMOVED. SMOKE ALARMS MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- FOR ANY DWELLING WITH A FUEL-BURNING APPLIANCE OR WITH AN ATTACHED GARAGE, CARBON MONOXIDE ALARMS SHALL BE PROVIDED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF ANY BEDROOM AND ON EVERY LEVEL INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS MUST BE HARDWIRED WITH BATTERY BACK UP AND MUST BE INTER-CONNECTED. CARBON MONOXIDE ALARMS INSTALLED IN EXISTING SPACE MAY BE BATTERY OPERATED UNLESS THERE IS AN ATTIC OR CRAWL SPACE FOR FISHING CABLES OR FINISHES ARE REMOVED. CARBON MONOXIDE ALARMS MUST BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- EACH BUILDING SHALL HAVE ADDRESS NUMBERS POSTED IN A CONSPICUOUS PLACE, CLEARLY VISIBLE FROM THE STREET. NUMBERS SHALL BE A MINIMUM 4" IN HEIGHT, CONTRASTING IN COLOR TO THEIR BACKGROUND, AND EITHER INTERNALLY OR EXTERNALLY ILLUMINATED.

### CONSTRUCTION OBSERVATION & INSPECTION:

- SPECIAL INSPECTION OR STRUCTURAL OBSERVATION IS NOT A SUBSTITUTE FOR INSPECTION BY THE BUILDING OFFICIAL OR BUILDING INSPECTOR. SPECIALLY INSPECTED WORK THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL AND THE SPECIAL INSPECTOR AND DESIGN ENGINEER IS SUBJECT TO REMOVAL OR EXPOSURE.
  - STRUCTURAL OBSERVATION SHALL BE REQUIRED FOR STRUCTURAL COMPLIANCE TO THE APPROVED PLANS PER CBC SECTION 17.
- SEE S-1 "SPECIAL INSPECTION" & "STRUCTURAL OBSERVATION" FOR ANY ADDITIONAL REQUIREMENTS.

**SITE RETAINING WALL REPLACEMENT**  
**2080 CALLE LOS COLLADOS**  
**DIABLO, CA**  
**APN: 195-280-040**

DRAWN BY: AZ  
CHECKED BY: JFP  
DATE: 06/05/2023

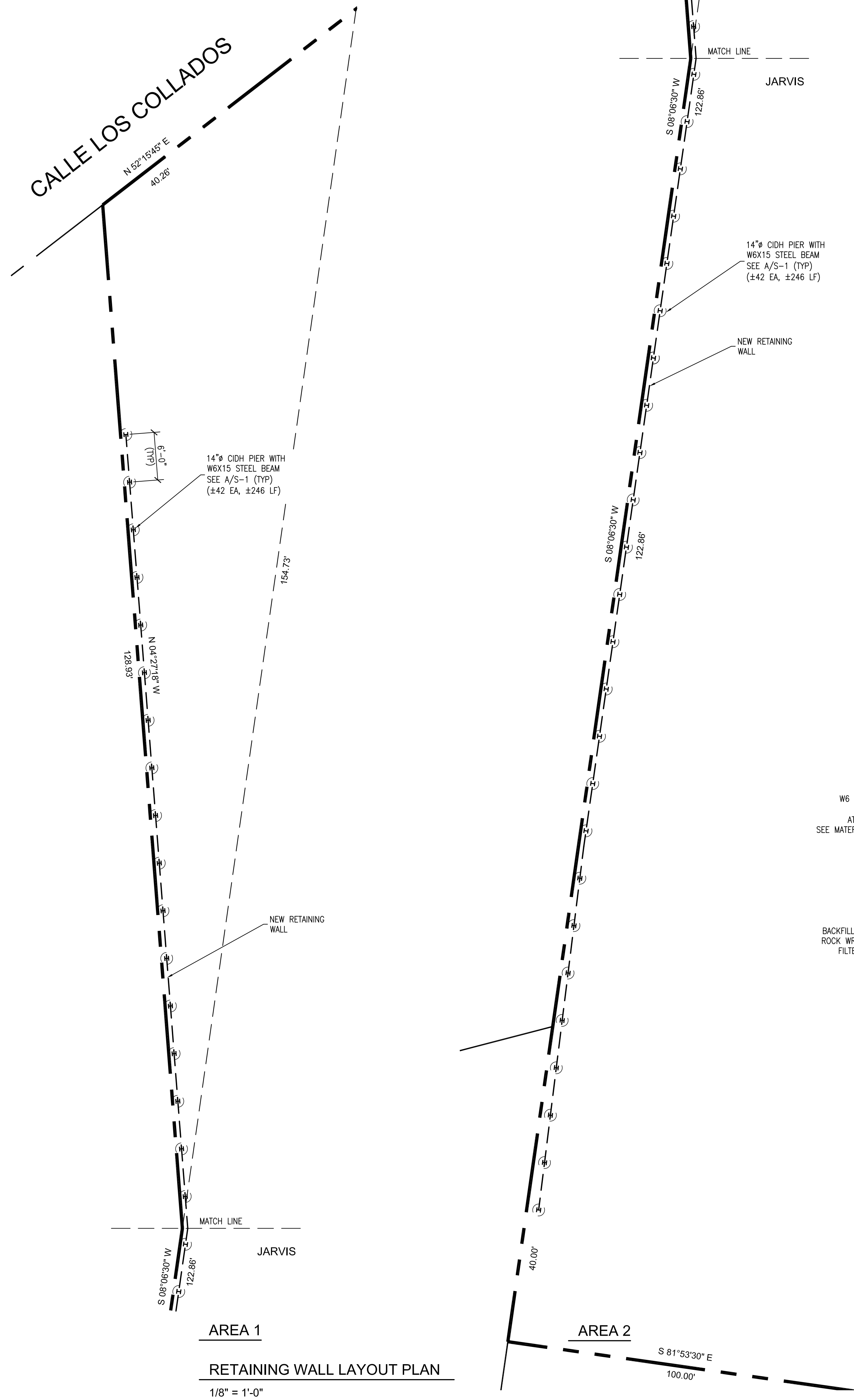


SITE PLAN &  
SITE INFO.  
LOCATION MAP

SHEET

**C-0**





AREA 1  
RETAINING WALL LAYOUT PLAN  
1/8" = 1'-0"

AREA 2  
RETAINING WALL LAYOUT PLAN  
1/8" = 1'-0"

**MATERIAL REQUIREMENTS:**

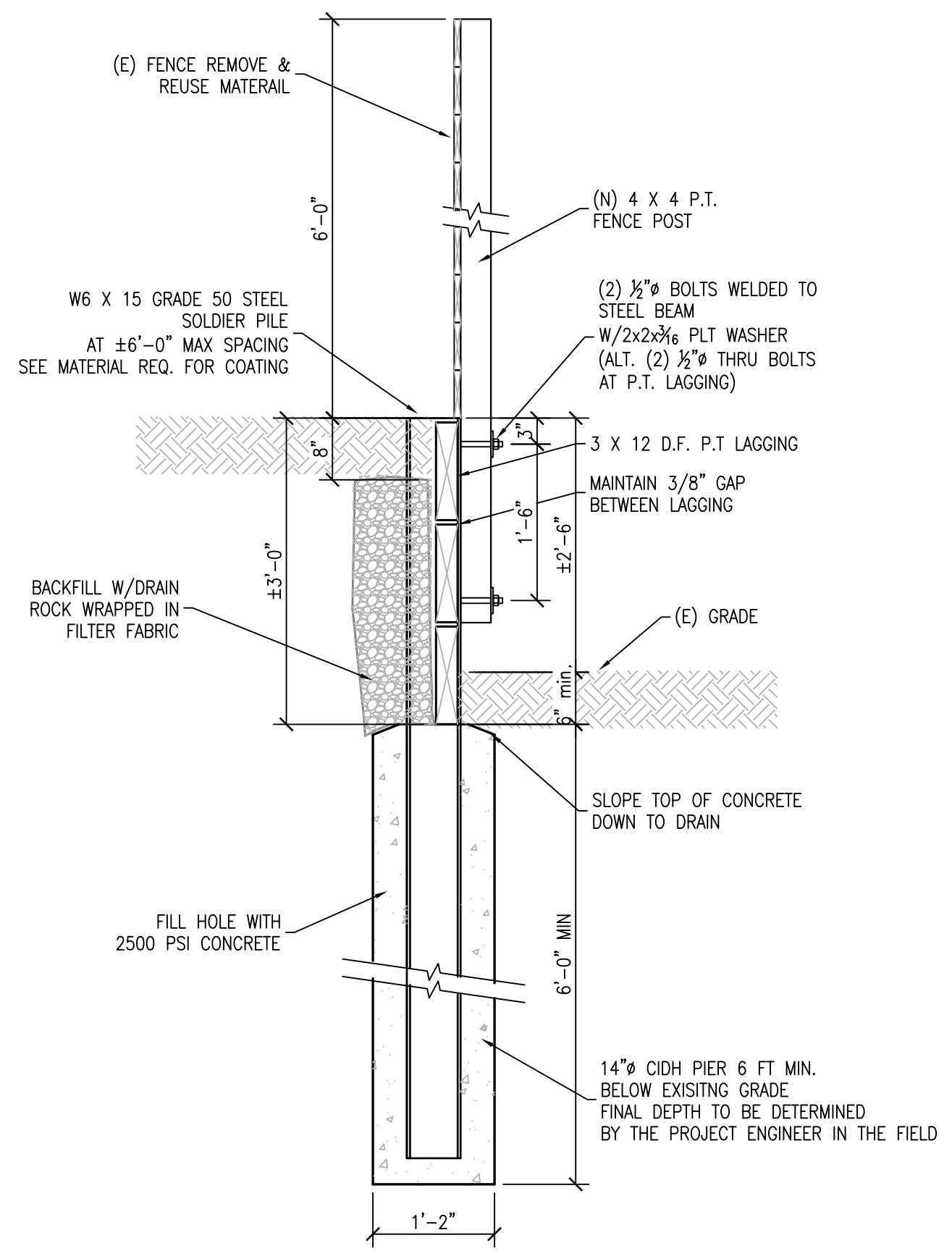
**CONCRETE:**  
F<sub>c</sub>=2500 PSI CONCRETE SHALL BE PROPORTIONED WITH CEMENT HAVING A MIN. OF SIX SACKS PER CUBIC YARD. THE REQUIREMENTS OF TABLES 19A & 19B OF THE CBC SHALL BE FOLLOWED FOR WATER CEMENT RATIO AND AIR CONTENT.

**STEEL SOLDIER PILES:**  
ALL NEW SOLDIER PILING SHALL BE A572 GRADE 50 STEEL (F<sub>y</sub>=50 KSI, F<sub>u</sub>=65 KSI) UNLESS OTHERWISE NOTED ON THE PLANS. PILES SHALL BE COATED FROM THE TOP TO 1 FOOT BELOW TOP OF CONCRETE PIER WITH SUPERIOR INDUSTRIAL ENAMEL 7669 / 7673 LOW-VOC RUST INHIBITIVE PRIMER OR CARBOLINE CARBOMASTIC 15.

**TIMBER LAGGING:**  
LUMBER TO BE USED FOR WALL LAGGING SHALL BE DOUGLAS FIR NO. 2 PRESSURE TREATED ALL LUMBER TO BE TREATED WITH CA-C TO MINIMUM OF 0.15 pcf RETENTION OR EQUIVALENT ALTERNATE TREATMENT MEETING AWPA UC4A SPECIFICATION. TREAT ANY CUT ENDS WITH A BRUSH APPLIED PRESERVATIVE SUCH AS "COPPER GREEN" OR SIMILAR.

**RETAINING WALL NOTES**  
ALL DRILLED PIERS ARE 18" DIA. SEE PROJECT PLANS FOR MINIMUM PIER DEPTHS. THE PROJECT ENGINEER IS TO VERIFY THE EXISTING SOIL CONDITIONS AND CERTIFY THE DEPTH OF EACH PIER. THE CONTRACTOR IS TO NOTIFY PHEIF ENGINEERING, INC. (415) 381-8150, A MINIMUM OF 72 HOURS PRIOR TO COMMENCEMENT OF EXCAVATION AND PIER DRILLING.

**SPECIAL INSPECTION:**  
IN CONFORMANCE WITH SECTION 17 OF THE 2022 CBC, THE OWNER OR CONTRACTOR SHALL EMPLOY A SPECIAL INSPECTOR FOR THE TAKING OF TEST SPECIMENS AND THE PLACEMENT OF CONCRETE FOR THE CIDH PILES.



WALL SECTION A  
3/4" = 1'-0"

**GENERAL NOTES:**

- ALL WORK AND MATERIAL, ON SITE AND IN THE PUBLIC RIGHT-OF-WAY, SHALL CONFORM TO THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- THE CONTRACTOR SHALL CHECK ALL DRAWINGS IMMEDIATELY UPON THEIR RECEIPT AND SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- NO PIPES OR DUCTS SHALL BE EMBEDDED INTO STRUCTURAL MEMBERS UNLESS SO SHOWN ON THE PLANS OR APPROVED BY THE ENGINEER. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED, OR APPROVED ARCHITECT / ENGINEER. NOTCH DETAILS, IF PROVIDED ARE FOR GENERAL GUIDANCE ONLY ARCHITECT / ENGINEER SHALL BE CONTACTED TO APPROVE LOCATIONS OF PROPOSED NOTCHES.
- CONNECTIONS AND IMPLIED CONSTRUCTION ASSEMBLIES THAT ARE NOT SPECIFICALLY DESCRIBED OR DETAILED SHALL BE CONSTRUCTED USING STANDARD CONSTRUCTION PRACTICES IN COMPLIANCE WITH THE GOVERNING CODES AND ORDINANCES.
- WHEN DETAILS LABELED "TYPICAL" OR "SIMILAR" ARE GIVEN ON DRAWINGS, THE CONTRACTOR SHALL APPLY THE INTENT OF THE DETAIL TO THAT SPECIFIC CONDITION.
- WRITTEN INFORMATION AND DIMENSIONS SHALL TAKE PRECEDENCE OVER GRAPHIC INFORMATION. DO NOT SCALE DRAWINGS. RESOLVE ANY CONFLICTS ON THE PLANS WITH THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING STANDARDS OF PRACTICE TO MEET THE MINIMUM REQUIREMENTS OF THE 2019 EDITION OF THE CBC. ANY OMISSIONS OR DISCREPANCIES ON THE PLANS OR ANY DEVIATIONS FROM THE PLANS WHICH ARE NECESSITATED BY FIELD CONDITIONS OR ANY CONDITION DIFFERENT FROM THOSE INDICATED ON THE PLANS SHOULD BE BROUGHT TO THE ATTENTION OF ENGINEER PRIOR TO CONTINUING CONSTRUCTION. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN THE TRADES WHERE REQUIRED IS ACCOMPLISHED.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING DURING CONSTRUCTION.
- TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY, EQUIVALENT SUBSTITUTIONS ARE PERMITTED.
- APPROVALS BY BUILDING INSPECTORS SHALL NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.
- THE STRUCTURAL SYSTEMS HAVE BEEN DESIGNED TO CARRY THE SUPERIMPOSED LIVE LOADS AS PRESCRIBED BY THE CALIFORNIA BUILDING CODE AND IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES, WITH NO SPECIAL PROVISIONS TO CARRY CONCENTRATED LOADS FROM STORAGE AND HANDLING OF CONSTRUCTION MATERIALS OR FROM OPERATION OF CONSTRUCTION EQUIPMENT.

**DESIGN CRITERIA**

1. SOIL LOADS	
ACTIVE	= 45 PCF
PASSIVE E.F.P.	= 300 PCF

**SOILS INFORMATION**

- ALL EXCAVATION, PIER DRILLING, BACK FILL, SUB-GRADE WORK AND DRAINAGE SYSTEMS SHALL BE OBSERVED AND APPROVED BY THE PROJECT ENGINEER.
- SOIL SITE CLASS (D)

**CONCRETE NOTES:**

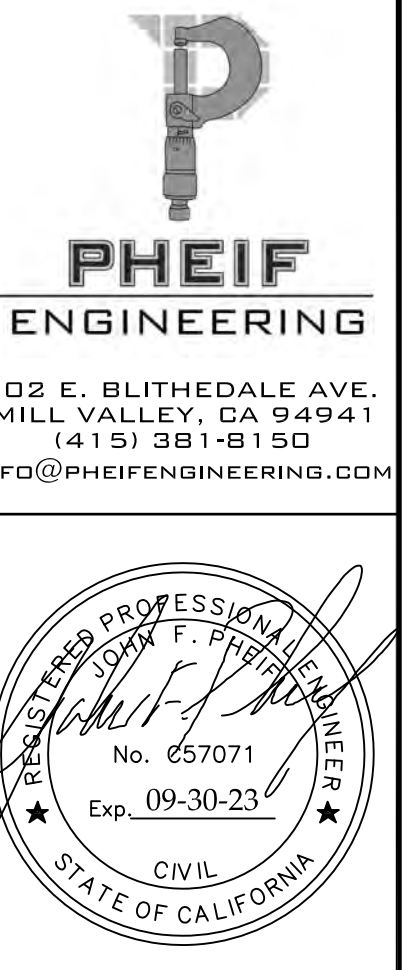
- ALL CONCRETE WORK SHALL CONFIRM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE ACI BUILDING CODE (ACI-318) AND THE CALIFORNIA BUILDING CODE (CBC), DETAILING, FABRICATION, AND ERECTION OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF STANDARD PRACTICE (ACI-315).
- CONCRETE SHALL CONFORM TO A.S.T.M. 94 AND REACH A MINIMUM STRENGTH OF 3000 P.S.I. IN 28 DAYS UNLESS OTHERWISE SPECIFIED IN THE SOILS REPORT OR ON THE PLANS. CONCRETE STRENGTH OF 2500 PSI USED FOR DESIGN. THEREFORE THERE WILL BE NO SPECIAL INSPECTION REQUIRED WITH THE EXCEPTION OF DURING THE PLACEMENT OF CONCRETE IN ALL CIDH PIER HOLES.
- MIXING WATER SHALL BE CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OIL, ACIDS, ALKALIS, ORGANIC MATERIALS OR OTHER DELETERIOUS SUBSTANCES.
- COURSE AGGREGATE SHALL BE HARD, DURABLE CRUSHED STONE OR GRAVEL GRADED PER A.S.T.M. C33. MAXIMUM SIZE AGGREGATE SHALL BE 3/4".
- SAND SHALL BE CLEAN, HARD, DURABLE, WASHED FREE FROM SILT, LOAM OR CLAY.
- CONCRETE QUALITY SHALL CONFORM TO PROVISIONS OF SEC. 1905 C.B.C.
- CEMENT SHALL CONFORM TO A.S.T.M. C150, TYPE I OR II.
- EXCEPT WHERE DETAILED ON STRUCTURAL DRAWINGS, REINFORCEMENT SHALL NOT BE DISPLACED OR CUT TO PROVIDE CLEARANCE FOR PENETRATIONS, INSERTS OR EMBEDMENTS.
- ALL CONCRETE SHALL BE THOROUGHLY CONSOLIDATED DURING PLACEMENT USING A MECHANICAL VIBRATOR.
- FORMS SUPPORTING VERTICAL SURFACES SHALL BE MAINTAINED FOR A MINIMUM OF 2 DAYS. FORMS SUPPORTING HORIZONTAL SURFACES SHALL BE MAINTAINED FOR A MINIMUM OF 7 DAYS BEFORE REMOVAL. CONCRETE FORMS FOR FOUNDATION SLABS SHALL REMAIN IN PLACE FOR 2 DAYS MINIMUM OR UNTIL THEY CAN BE REMOVED WITHOUT DAMAGING THE CONCRETE SURFACES. LOOSE SOIL, SAWDUST, AND OTHER DEBRIS SHALL BE REMOVED FROM THE FORMS PRIOR TO PLACING CONCRETE.
- ONLY ONE GRADE OF CONCRETE SHALL BE PERMITTED ON THE JOB SITE AT ONE TIME.
- LOOSE SOIL, SAWDUST, AND OTHER DEBRIS SHALL BE REMOVED FROM THE FORMS PRIOR TO PLACING CONCRETE.
- THE PROJECT ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING, DRILLING AND BACKFILL PHASES OF CONSTRUCTION.

**SPECIAL INSPECTION:**

- PROVIDE SPECIAL INSPECTION AND TESTING FOR ALL ITEMS AS REQUIRED BY SECTION 1704 THE 2022 CALIFORNIA BUILDING CODE.
- THE OWNER SHALL BE RESPONSIBLE FOR RETAINING AN INDEPENDENT TESTING LAB TO PERFORM ALL REQUIRED TESTING AND SPECIAL INSPECTION AS REQUIRED BY THE CODE AND LOCAL BUILDING OFFICIAL. THE INSPECTION PROGRAM SHALL INCLUDE SAMPLES OF INSPECTION REPORTS AND TIME LIMITS FOR SUBMISSION OF REPORTS, OWNER OR CONTRACTOR SHALL SUBMIT THE NAMES OF THE INDIVIDUALS OR FIRMS WHO ARE TO PERFORM THIS OBSERVATION TO THE PERMITTING AGENCY PRIOR TO THE START OF WORK.
- THE SPECIAL INSPECTOR FOR ALL WORK OUTLINED IN CBC 108.4.4 AND AS REQUIRED BY THE CITY OF MILL VALLEY SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE HIS COMPETENCE TO THE SATISFACTION OF THE BUILDING OFFICIAL FOR INSPECTION FOR THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION AND SHALL BE CHARGED WITH THE DUTIES AND RESPONSIBILITIES AS OUTLINED IN CBC 2016, THE SPECIAL INSPECTOR SHALL BE RESPONSIBLE FOR COMPLETING, MAINTAINING AND RESUBMITTING ALL SPECIAL INSPECTION LOGS AND FORMS REQUIRED BY THE CITY OF MILL VALLEY.
- THE FOLLOWING ITEMS SHALL BE INSPECTED BY AN OUTSIDE TESTING AGENCY HIRED BY THE OWNER OR THE OWNERS REPRESENTATIVE.
  - DURING THE PLACEMENT OF CONCRETE IN CIDH PIERS AND FOR TAKING OF TEST SPECIMENS FOR THE CIDH PIERS.
  - THE FOLLOWING ITEMS SHALL BE INSPECTED AND APPROVED BY THE PROJECT ENGINEER, PHEIF ENGINEERING, INC. (415) 381-8150.
    - ALL EXCAVATION, DRILLING OF ALL CIDH HOLES TO CERTIFY SOIL CONDITIONS AND RECORD PIER DEPTHS AND DURING THE BACKFILL OF ALL WALLS.

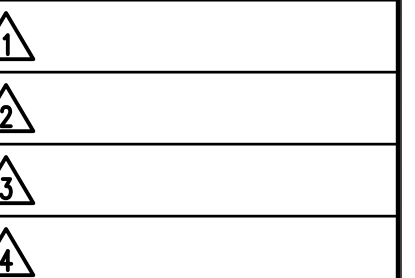
**STRUCTURAL OBSERVATION:**

- THE FOLLOWING ITEMS SHALL BE OBSERVED BY PHEIF ENGINEERING, INC. (415) 381-8150, PER CBC 1709.
  - PLACEMENT OF SOLDIER BEAMS IN CIDH HOLES.
  - PLACEMENT OF TIMBER LAGGING
  - INSTALLATION OF DRAINAGE SYSTEM PRIOR TO BACKFILL.
- THE ENGINEER OF RECORD SHALL PROVIDE WRITTEN VERIFICATION TO THE BUILDING DEPARTMENT THAT THESE OBSERVATIONS WERE PROVIDED AND THAT ALL ITEMS ARE IN GENERAL CONFORMANCE WITH THE APPROVED PLANS.



**SITE RETAINING WALL PREPLACEMENT**  
**2080 CALLE LOS COLLADOS**  
**DIABLO, CA**  
**APN: 195-280-040**

DRAWN BY: AZ  
CHECKED BY: JFP  
DATE: 06/05/2023



RETAINING WALL PLAN, WALL SECTION & STRUCTURAL NOTES

SHEET  
**S-1**



**DIABLO MUNICIPAL ADVISORY COUNCIL  
REGULAR MEETING MINUTES  
DIABLO COUNTRY CLUB RED HORSE TAVERN TOO  
SEPTEMBER 12, 2023, 6:00 P.M.**

**CALL TO ORDER:** President Kathy Urbelis called the meeting to order at 6:40 p.m.

President Urbelis welcomed Directors and the public and explained the rules for public comment.

**ROLL CALL:** Secretary Chartier called the roll as follows:

**Directors present: Urbelis, Cox, Chartier, Lorenz, Slavonia**

**Directors absent: None**

**PUBLIC COMMENTS:**

Mary Anne Cella: Suggested that public comment on non-agenda items comes first, with public comment on agenda items given prior to item discussion.

**BOARD/STAFF COMMUNICATION AND ACTIONS:**

Director Cox said that further review is needed regarding the county setback ordinance. No action will be taken right now. It was moved by Director Lorenz and seconded by Director Cox that the Board ask the General Manager to table the county 3-foot setback ordinance action until further notice. Approved 5-0.

**CONSENT CALENDAR:**

On motion of Director Lorenz, seconded by Director Slavonia, the Directors approved the consent calendar. Motion passed 5-0.

**CALL OF NEXT MEETING/ADJOURNMENT:**

President Urbelis called the next meeting for October 10, 2023. The meeting will be conducted at the Diablo Country Club following the DCSD Meeting which begins at 6:00 pm. There being no further business, the meeting was adjourned at 6:43 p.m.

**Diablo Community Services District by**

**Julie Nejedly, Stand-in for General Manager**